



Referral Early Consultation

Date: December 6, 2018
To: Distribution List (See Attachment A)
From: Jeremy Ballard, Associate Planner, Planning and Community Development
Subject: REZONE APPLICATION NO. PLN2018-0022 – NUNES ROAD TRAVEL PLAZA
Respond By: December 28, 2018

******PLEASE REVIEW REFERRAL PROCESS POLICY******

The Stanislaus County Department of Planning and Community Development is soliciting comments from responsible agencies under the Early Consultation process to determine: a) whether or not the project is subject to CEQA and b) if specific conditions should be placed upon project approval.

Therefore, please contact this office by the response date if you have any comments pertaining to the proposal. Comments made identifying potential impacts should be as specific as possible and should be based on supporting data (e.g., traffic counts, expected pollutant levels, etc.). Your comments should emphasize potential impacts in areas which your agency has expertise and/or jurisdictional responsibilities.

These comments will assist our Department in preparing a staff report to present to the Planning Commission. Those reports will contain our recommendations for approval or denial. They will also contain recommended conditions to be required should the project be approved. Therefore, please list any conditions that you wish to have included for presentation to the Commission as well as any other comments you may have. Please return all comments and/or conditions as soon as possible or no later than the response date referenced above.

Thank you for your cooperation. Please call (209) 525-6330 if you have any questions.

Applicant: Jasvir Singh
Project Location: 4924 East Nunes Road, between North Golden State Boulevard and East Keyes Road, east of State Route 99, in the Community of Keyes.
APN: 045-050-010
Williamson Act Contract: N/A
General Plan: Planned Development (P-D)
Community Plan: Highway Commercial
Current Zoning: A-2-10 (General Agriculture)

Project Description: Request to rezone an 8.6± acre parcel from A-2-10 (General Agriculture) to Planned Development (P-D) to allow for the development of various commercial uses for the traveling public. Specifically, the applicant proposes to construct a 7,000 square foot convenience market, which includes an area for customers to shower, a 4,278 square foot shell building for future fast food restaurants including a drive thru, a gas station with 16 fueling stations for automobiles,

STRIVING TOGETHER TO BE THE BEST!

a 14,100 square foot truck wash and repair building, 43 truck parking stalls for overnight parking, and a secondary gas station with 5 diesel fueling stations. The project also proposes to install two 100 foot-tall signs viewable from the freeway, perimeter landscaping, and on-site storm water retention basin. The site proposes to provide three points of reciprocal access to the undeveloped parcel to the east. A conceptual development plan for the adjoining parcels, which is under different ownership and is not included under this request, has been included to illustrate potential connectivity of future development. The development will be served by the Keyes Community Service District for public water and sanitary sewer services. The facility will operate 24 hours a day. Future tenets, once developed, will establish individual hours and number of employees for their respective operation. The applicant anticipates 4 supply deliveries per day, 4 fuel deliveries per week, and 50 peak hour customers. The project will be developed in four phases over an eight-year period. Phase 1 will construct the truck wash building and develop the truck parking portion of the site. Phase 2 will construct the convenience market, automobile gas station, and accompanying parking lot. Phase 3 will construct the diesel fueling stations, and Phase 4 will construct the shell buildings for future food service occupants.

Full document with attachments available for viewing at:
<http://www.stancounty.com/planning/pl/act-projects.shtm>



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

1010 10TH Street, Suite 3400, Modesto, CA 95354
 Planning Phone: (209) 525-6330 Fax: (209) 525-5911
 Building Phone: (209) 525-6557 Fax: (209) 525-7759

REZONE APPLICATION NO. PLN2018-0022 – NUNES ROAD TRAVEL PLAZA

Attachment A

Distribution List

	CA DEPT OF CONSERVATION Land Resources / Mine Reclamation		STAN CO ALUC
X	CA DEPT OF FISH & WILDLIFE		STAN CO ANIMAL SERVICES
	CA DEPT OF FORESTRY (CAL FIRE)	X	STAN CO BUILDING PERMITS DIVISION
X	CA DEPT OF TRANSPORTATION DIST 10	X	STAN CO CEO
X	CA OPR STATE CLEARINGHOUSE		STAN CO CSA
X	CA RWQCB CENTRAL VALLEY REGION	X	STAN CO DER
	CA STATE LANDS COMMISSION	X	STAN CO ERC
	CEMETERY DISTRICT	X	STAN CO FARM BUREAU
	CENTRAL VALLEY FLOOD PROTECTION	X	STAN CO HAZARDOUS MATERIALS
X	CITY OF: TURLOCK		STAN CO PARKS & RECREATION
X	COMMUNITY SERVICES: KEYES	X	STAN CO PUBLIC WORKS
X	COOPERATIVE EXTENSION		STAN CO RISK MANAGEMENT
	COUNTY OF:	X	STAN CO SHERIFF
X	FIRE PROTECTION DIST: KEYES	X	STAN CO SUPERVISOR 2: CHIESA
	HOSPITAL DIST:	X	STAN COUNTY COUNSEL
X	IRRIGATION DIST: TID	X	StanCOG
X	MOSQUITO DIST: TURLOCK	X	STANISLAUS FIRE PREVENTION BUREAU
X	MOUNTIAN VALLEY EMERGENCY MEDICAL SERVICES	X	STANISLAUS LAFCO
X	MUNICIPAL ADVISORY COUNCIL: KEYES		STATE OF CA SWRCB DIVISION OF DRINKING WATER DIST. 10
X	PACIFIC GAS & ELECTRIC		SURROUNDING LAND OWNERS
X	POSTMASTER: KEYES	X	TELEPHONE COMPANY: AT&T
X	RAILROAD: UNION PACIFIC	X	TRIBAL CONTACTS (CA Government Code §65352.3)
X	SAN JOAQUIN VALLEY APCD		US ARMY CORPS OF ENGINEERS
X	SCHOOL DIST 1: KEYES UNION		US FISH & WILDLIFE
X	SCHOOL DIST 2: TURLOCK JOINT UNIFIED HIGH	X	US MILITARY (SB 1462) (7 agencies)
	STAN ALLIANCE		USDA NRCS
X	STAN CO AG COMMISSIONER		WATER DIST:
	TUOLUMNE RIVER TRUST		



STANISLAUS COUNTY CEQA REFERRAL RESPONSE FORM

TO: Stanislaus County Planning & Community Development
1010 10th Street, Suite 3400
Modesto, CA 95354

FROM: _____

SUBJECT: REZONE APPLICATION NO. PLN2018-0022 – NUNES ROAD TRAVEL PLAZA

Based on this agency’s particular field(s) of expertise, it is our position the above described project:

- Will not have a significant effect on the environment.
- May have a significant effect on the environment.
- No Comments.

Listed below are specific impacts which support our determination (e.g., traffic general, carrying capacity, soil types, air quality, etc.) – (attach additional sheet if necessary)

- 1.
- 2.
- 3.
- 4.

Listed below are possible mitigation measures for the above-listed impacts: *PLEASE BE SURE TO INCLUDE WHEN THE MITIGATION OR CONDITION NEEDS TO BE IMPLEMENTED (PRIOR TO RECORDING A MAP, PRIOR TO ISSUANCE OF A BUILDING PERMIT, ETC.):*

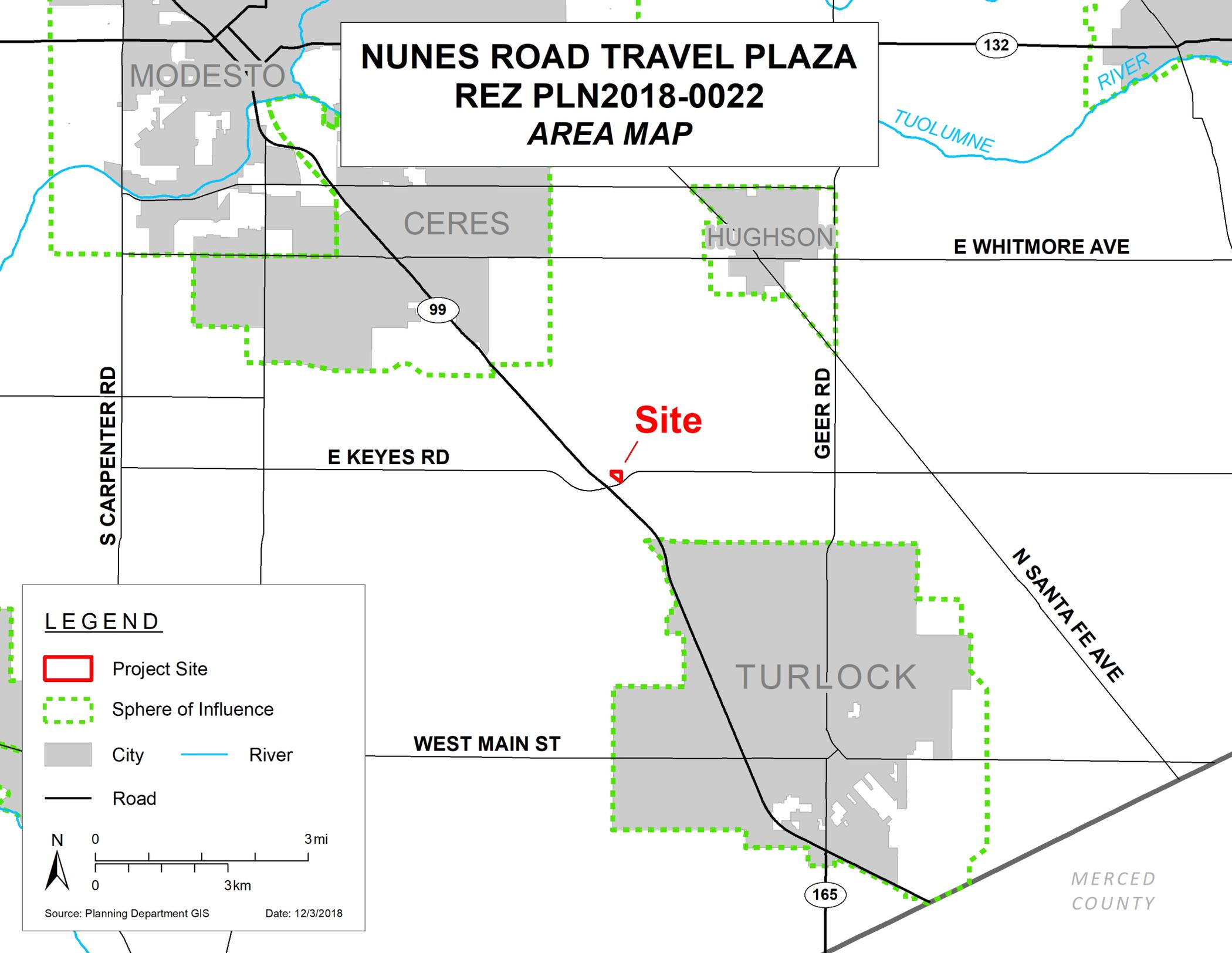
- 1.
- 2.
- 3.
- 4.

In addition, our agency has the following comments (attach additional sheets if necessary).

Response prepared by:

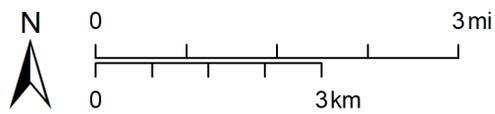
Name	Title	Date

NUNES ROAD TRAVEL PLAZA REZ PLN2018-0022 AREA MAP



LEGEND

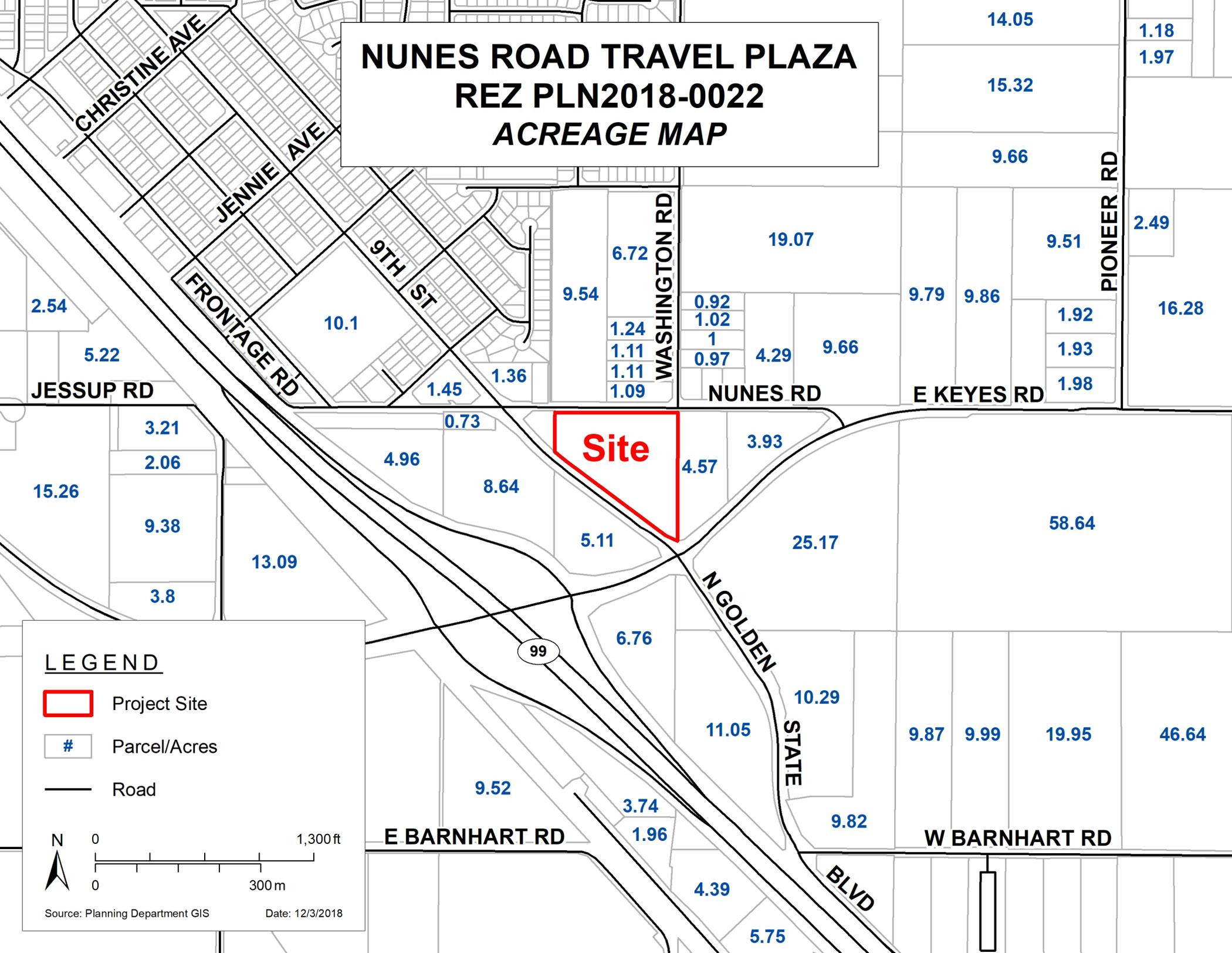
-  Project Site
-  Sphere of Influence
-  City
-  River
-  Road



Source: Planning Department GIS Date: 12/3/2018

MERCED COUNTY

NUNES ROAD TRAVEL PLAZA REZ PLN2018-0022 ACREAGE MAP

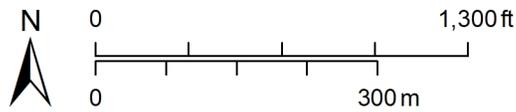


LEGEND

Project Site

Parcel/Acres

— Road



Source: Planning Department GIS

Date: 12/3/2018

NUNES ROAD TRAVEL PLAZA REZ PLN2018-0022 GENERAL PLAN MAP

LEGEND

- Project Site
- Parcel
- Road

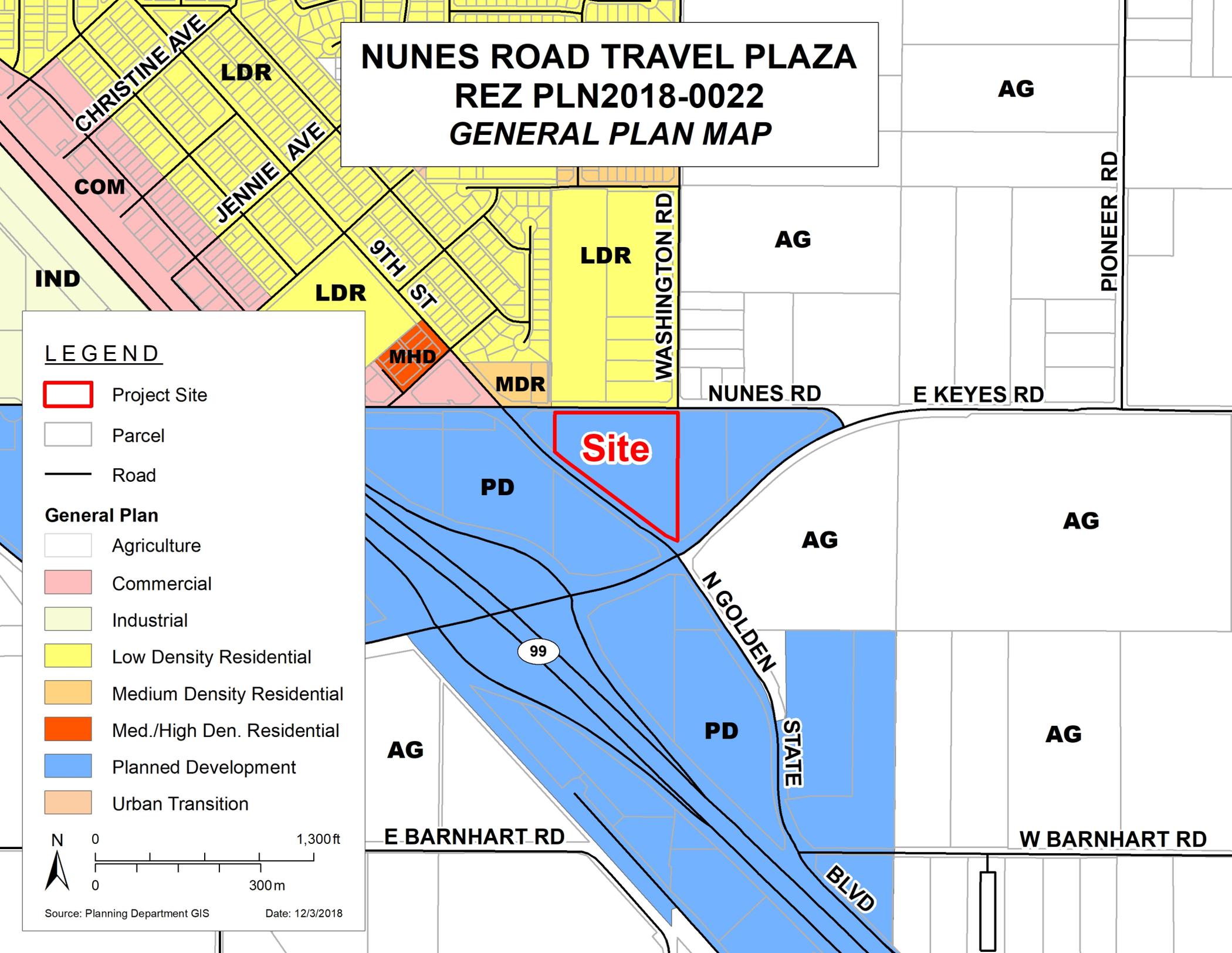
General Plan

- Agriculture
- Commercial
- Industrial
- Low Density Residential
- Medium Density Residential
- Med./High Den. Residential
- Planned Development
- Urban Transition

N 1,300ft

300m

Source: Planning Department GIS Date: 12/3/2018



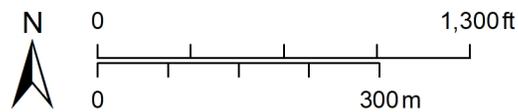
NUNES ROAD TRAVEL PLAZA REZ PLN2018-0022 ZONING MAP

LEGEND

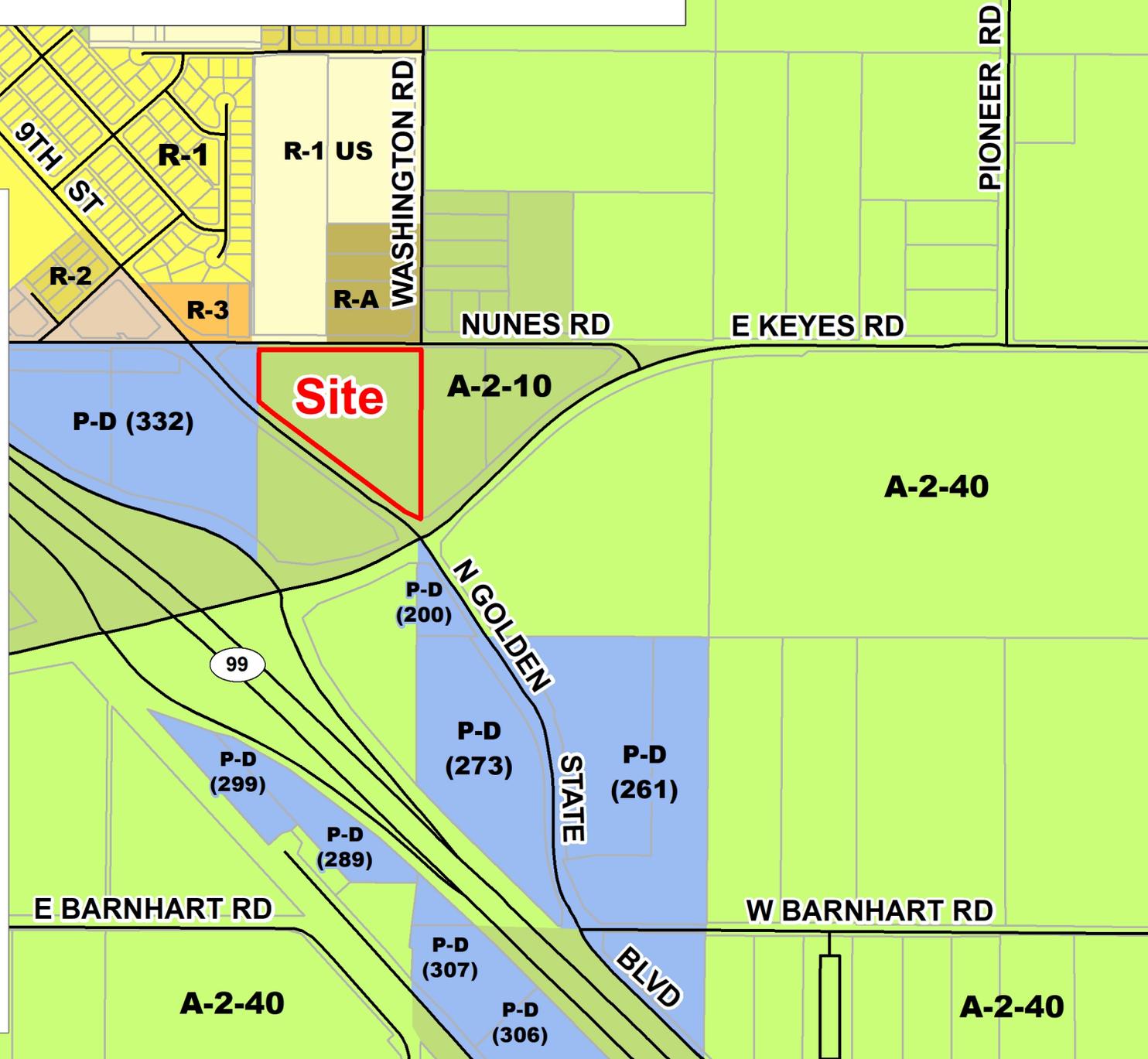
- Project Site
- Parcel
- Road

Zoning Designation

- General Agriculture 10 Acre
- General Agriculture 40 Acre
- General Commercial
- Highway Frontage
- Industrial
- Planned Development
- Single Family Residential
- Single Family Residential
- Medium Density Residential
- Multiple Family
- Rural Residential



Source: Planning Department GIS Date: 12/3/2018



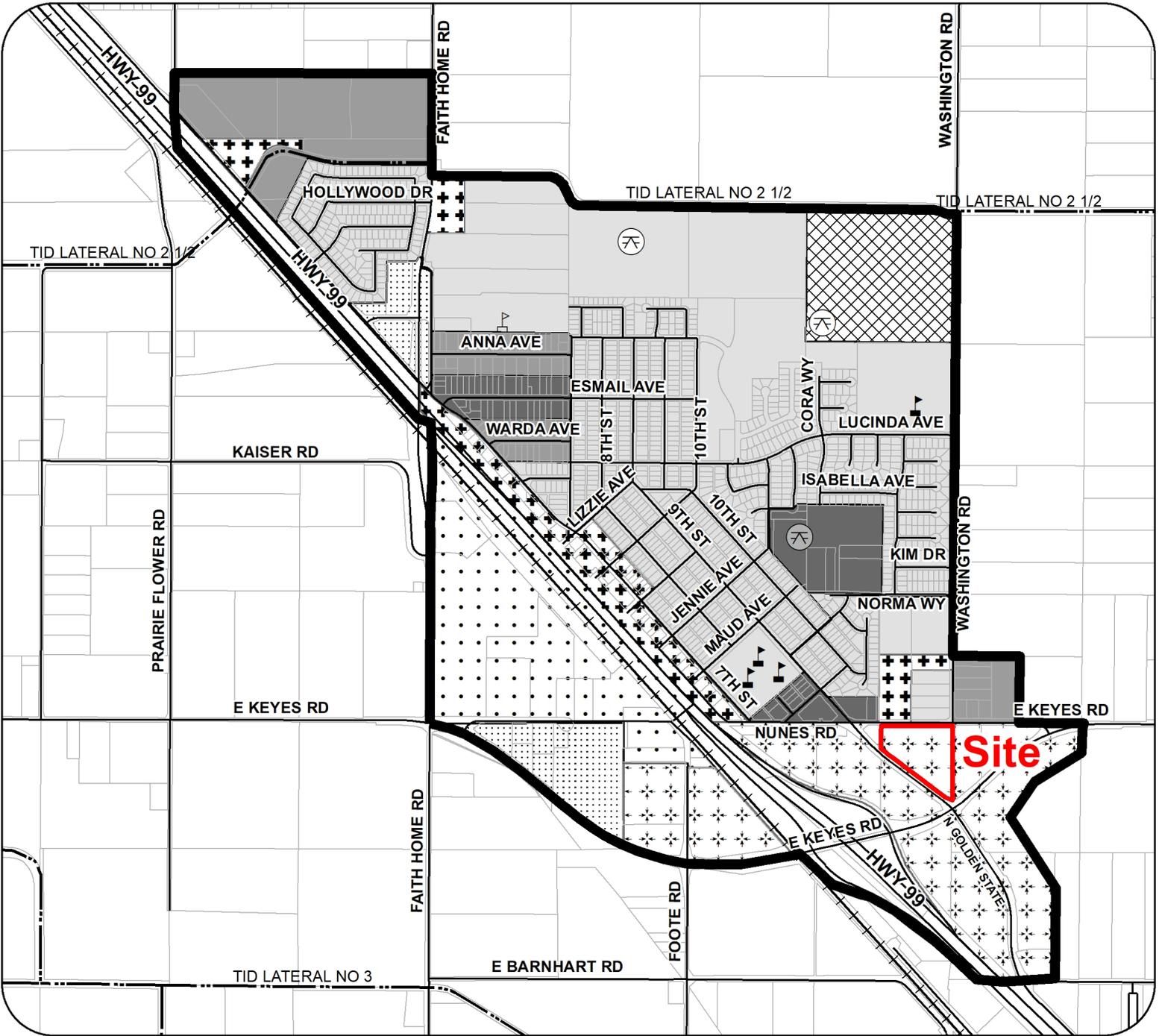
Keys COMMUNITY PLAN

Land Use Designations:

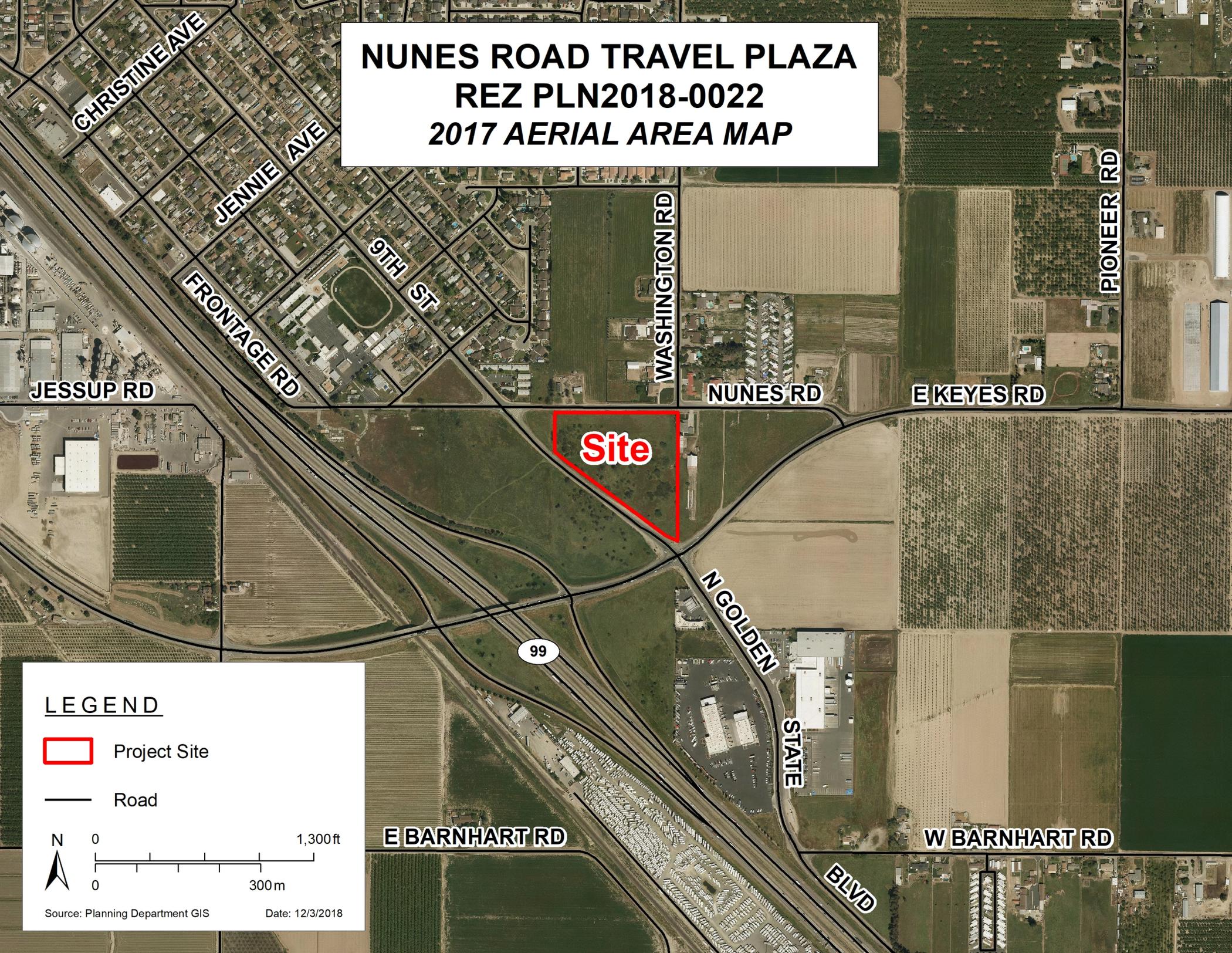
-  Commercial
-  Commercial - Highway
-  Industrial
-  Planned Industrial
-  Residential - Low
-  Residential - Medium
-  Residential - Medium-High
-  Urban Transition

Parks and Schools:

-  Existing Park
-  Proposed Park
-  Existing School
-  Proposed School



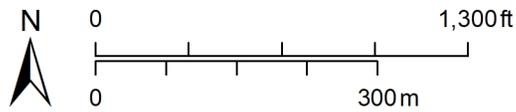
NUNES ROAD TRAVEL PLAZA REZ PLN2018-0022 2017 AERIAL AREA MAP



LEGEND

 Project Site

 Road



Source: Planning Department GIS

Date: 12/3/2018

**NUNES ROAD TRAVEL PLAZA
REZ PLN2018-0022
2017 AERIAL SITE MAP**

NUNES RD

Site

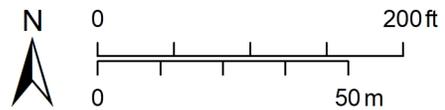
N GOLDEN STATE BLVD

E KEYES RD

LEGEND

 Project Site

 Road



Source: Planning Department GIS

Date: 12/3/2018



APPLICATION QUESTIONNAIRE

<p><u>Please Check all applicable boxes</u> APPLICATION FOR: <i>Staff is available to assist you with determining which applications are necessary</i></p> <table border="0"> <tr> <td><input type="checkbox"/> General Plan Amendment</td> <td><input type="checkbox"/> Subdivision Map</td> </tr> <tr> <td><input checked="" type="checkbox"/> Rezone</td> <td><input type="checkbox"/> Parcel Map</td> </tr> <tr> <td><input type="checkbox"/> Use Permit</td> <td><input type="checkbox"/> Exception</td> </tr> <tr> <td><input type="checkbox"/> Variance</td> <td><input type="checkbox"/> Williamson Act Cancellation</td> </tr> <tr> <td><input type="checkbox"/> Historic Site Permit</td> <td><input type="checkbox"/> Other _____</td> </tr> </table>	<input type="checkbox"/> General Plan Amendment	<input type="checkbox"/> Subdivision Map	<input checked="" type="checkbox"/> Rezone	<input type="checkbox"/> Parcel Map	<input type="checkbox"/> Use Permit	<input type="checkbox"/> Exception	<input type="checkbox"/> Variance	<input type="checkbox"/> Williamson Act Cancellation	<input type="checkbox"/> Historic Site Permit	<input type="checkbox"/> Other _____	<p>PLANNING STAFF USE ONLY: Application No(s): _____ Date: _____ S _____ T _____ R _____ GP Designation: _____ Zoning: _____ Fee: _____ Receipt No. _____ Received By: _____ Notes: _____</p>
<input type="checkbox"/> General Plan Amendment	<input type="checkbox"/> Subdivision Map										
<input checked="" type="checkbox"/> Rezone	<input type="checkbox"/> Parcel Map										
<input type="checkbox"/> Use Permit	<input type="checkbox"/> Exception										
<input type="checkbox"/> Variance	<input type="checkbox"/> Williamson Act Cancellation										
<input type="checkbox"/> Historic Site Permit	<input type="checkbox"/> Other _____										

In order for your application to be considered COMPLETE, please answer all applicable questions on the following pages, and provide all applicable information listed on the checklist on pages i – v. Under State law, upon receipt of this application, staff has 30 days to determine if the application is complete. We typically do not take the full 30 days. It may be necessary for you to provide additional information and/or meet with staff to discuss the application. Pre-application meetings are not required, but are highly recommended. An incomplete application will be placed on hold until all the necessary information is provided to the satisfaction of the requesting agency. An application will not be accepted without all the information identified on the checklist.

Please contact staff at (209) 525-6330 to discuss any questions you may have. Staff will attempt to help you in any way we can.

PROJECT INFORMATION

PROJECT DESCRIPTION: (Describe the project in detail, including physical features of the site, proposed improvements, proposed uses or business, operating hours, number of employees, anticipated customers, etc. – Attach additional sheets as necessary)

**Please note: A detailed project description is essential to the reviewing process of this request. In order to approve a project, the Planning Commission or the Board of Supervisors must decide whether there is enough information available to be able to make very specific statements about the project. These statements are called "Findings". It is your responsibility as an applicant to provide enough information about the proposed project, so that staff can recommend that the Commission or the Board make the required Findings. Specific project Findings are shown on pages 17 – 19 and can be used as a guide for preparing your project description. (If you are applying for a Variance or Exception, please contact staff to discuss special requirements).*

Construction of new Convenience Store and truck stop.

PROJECT SITE INFORMATION

Complete and accurate information saves time and is vital to project review and assessment. Please complete each section entirely. If a question is not applicable to your project, please indicated this to show that each question has been carefully considered. Contact the Planning & Community Development Department Staff, 1010 10th Street – 3rd Floor, (209) 525-6330, if you have any questions. Pre-application meetings are highly recommended.

ASSESSOR'S PARCEL NUMBER(S): Book 045 Page 050 Parcel 010

Additional parcel numbers: _____

Project Site Address
or Physical Location:

4924 E Nunes Rd Keyes CA

Property Area:

Acres: 8.6 or Square feet: _____

Current and Previous Land Use: (Explain existing and previous land use(s) of site for the last ten years)

List any known previous projects approved for this site, such as a Use Permit, Parcel Map, etc.: (Please identify project name, type of project, and date of approval)

None

Existing General Plan & Zoning:

AG PD & A-2-10

Proposed General Plan & Zoning:
(if applicable)

In Rezoning process (C2)

ADJACENT LAND USE: (Describe adjacent land uses within 1,320 feet (1/4 mile) and/or two parcels in each direction of the project site)

East:

empty lots / ag single family dwellings

West:

empty lots

North:

Residential

South:

comercial / empty lots

WILLIAMSON ACT CONTRACT:

Yes No

Is the property currently under a Williamson Act Contract?

Contract Number: _____

If yes, has a Notice of Non-Renewal been filed?

Date Filed: _____

Yes No

Do you propose to cancel any portion of the Contract?

Yes No

Are there any agriculture, conservation, open space or similar easements affecting the use of the project site. (Such easements do not include Williamson Act Contracts)

If yes, please list and provide a recorded copy: _____

SITE CHARACTERISTICS: (Check one or more)

Flat

Rolling

Steep

VEGETATION: What kind of plants are growing on your property? (Check one or more)

Field crops

Orchard

Pasture/Grassland

Scattered trees

Shrubs

Woodland

River/Riparian

Other

Explain Other: _____

Yes No

Do you plan to remove any trees? (If yes, please show location of trees planned for removal on plot plan and provide information regarding transplanting or replanting.)

GRADING:

Yes No

Do you plan to do any grading? (If yes, please indicate how many cubic yards and acres to be disturbed. Please show areas to be graded on plot plan.) _____

STREAMS, LAKES, & PONDS:

Yes No

Are there any streams, lakes, ponds or other watercourses on the property? (If yes, please show on plot plan)

Yes No

Will the project change any drainage patterns? (If yes, please explain – provide additional sheet if needed) _____

Yes No

Are there any gullies or areas of soil erosion? (If yes, please show on plot plan)

Yes No

Do you plan to grade, disturb, or in any way change swales, drainages, ditches, gullies, ponds, low lying areas, seeps, springs, streams, creeks, river banks, or other area on the site that carries or holds water for any amount of time during the year? (If yes, please show areas to be graded on plot plan)

Please note: If the answer above is yes, you may be required to obtain authorization from other agencies such as the Corps of Engineers or California Department of Fish and Game.

STRUCTURES:

- Yes No Are there structures on the site? (If yes, please show on plot plan. Show a relationship to property lines and other features of the site.)
- Yes No Will structures be moved or demolished? (If yes, indicate on plot plan.)
- Yes No Do you plan to build new structures? (If yes, show location and size on plot plan.)
- Yes No Are there buildings of possible Historical significance? (If yes, please explain and show location and size on plot plan.) _____

PROJECT SITE COVERAGE:

Existing Building Coverage: N/A Sq. Ft. Landscaped Area: TBD Sq. Ft.
 Proposed Building Coverage: 34,900 Sq. Ft. Paved Surface Area: TBD Sq. Ft.

BUILDING CHARACTERISTICS:

Size of new structure(s) or building addition(s) in gross sq. ft.: (Provide additional sheets if necessary) see cover sheet A1.0

Number of floors for each building: Main building (A) two floors, Bldg (B) single floor and Bldg (C) is single floor.

Building height in feet (measured from ground to highest point): (Provide additional sheets if necessary) 34'-6"

Height of other appurtenances, excluding buildings, measured from ground to highest point (i.e., antennas, mechanical equipment, light poles, etc.): (Provide additional sheets if necessary) N/A

Proposed surface material for parking area: (Provide information addressing dust control measures if non-asphalt/concrete material to be used) AC paving.

UTILITIES AND IRRIGATION FACILITIES:

- Yes No Are there existing public or private utilities on the site? Includes telephone, power, water, etc. (If yes, show location and size on plot plan)

Who provides, or will provide the following services to the property?

Electrical: PG & E Sewer*: TBD
 Telephone: TBD Gas/Propane: TBD
 Water**: TBD Irrigation: TBD

***Please Note:** A "will serve" letter is required if the sewer service will be provided by City, Sanitary District, Community Services District, etc.

****Please Note:** A "will serve" letter is required if the water source is a City, Irrigation District, Water District, etc., and the water purveyor may be required to provide verification through an Urban Water Management Plan that an adequate water supply exists to service your proposed development.

Will any special or unique sewage wastes be generated by this development other than that normally associated with resident or employee restrooms? Industrial, chemical, manufacturing, animal wastes? (Please describe:)

No

Please Note: Should any waste be generated by the proposed project other than that normally associated with a single family residence, it is likely that Waste Discharge Requirements will be required by the Regional Water Quality Control Board. Detailed descriptions of quantities, quality, treatment, and disposal may be required.

Yes No Are there existing irrigation, telephone, or power company easements on the property? (If yes, show location and size on plot plan.)

Yes No Do the existing utilities, including irrigation facilities, need to be moved? (If yes, show location and size on plot plan.)

Yes No Does the project require extension of utilities? (If yes, show location and size on plot plan.)

AFFORDABLE HOUSING/SENIOR:

Yes No Will the project include affordable or senior housing provisions? (If yes, please explain)

RESIDENTIAL PROJECTS: (Please complete if applicable – Attach additional sheets if necessary)

Total No. Lots: _____ Total Dwelling Units: _____ Total Acreage: _____

Net Density per Acre: _____ Gross Density per Acre: _____

(complete if applicable)	Single Family	Two Family Duplex	Multi-Family Apartments	Multi-Family Condominium/Townhouse
Number of Units:	_____	_____	_____	_____
Acreage:	_____	_____	_____	_____

COMMERCIAL, INDUSTRIAL, MANUFACTURING, RETAIL, USE PERMIT, OR OTHER PROJECTS: (Please complete if applicable – Attach additional sheets if necessary)

Square footage of each existing or proposed building(s): Bldg (A) 6,300 sq.ft.

Bldg (B) 5,700 sq.ft. Bldg (C) 14,100 sq.ft.

Canopy 4800 sq.ft. & 4,000 sq.ft.

Type of use(s): convenience store, strip mall, truck stop, truck repair/wash shop.

Days and hours of operation: 24/7

Seasonal operation (i.e., packing shed, huller, etc.) months and hours of operation: N/A

Occupancy/capacity of building: Bldg (A) 105 approx. Bldg (B) TBD
Bldg (C) 47 approx.

Number of employees: (Maximum Shift): TBD (Minimum Shift): TBD

Estimated number of daily customers/visitors on site at peak time: 50

Other occupants: _____

Estimated number of truck deliveries/loadings per day: 4-5

Estimated hours of truck deliveries/loadings per day: 4-5

Estimated percentage of traffic to be generated by trucks: 15%

Estimated number of railroad deliveries/loadings per day: None

Square footage of:

Office area: see floor plan Warehouse area: -

Sales area: ✓ Storage area: -

Loading area: ✓ Manufacturing area: -

Other: (explain type of area) _____

Yes No Will the proposed use involve toxic or hazardous materials or waste? (Please explain)

ROAD AND ACCESS INFORMATION:

What County road(s) will provide the project's main access? (Please show all existing and proposed driveways on the plot plan)
Nunes Rd & Golden State

- Yes No Are there private or public road or access easements on the property now? (If yes, show location and size on plot plan)
- Yes No Do you require a private road or easement to access the property? (If yes, show location and size on plot plan)
- Yes No Do you require security gates and fencing on the access? (If yes, show location and size on plot plan)

Please Note: Parcels that do not front on a County-maintained road or require special access may require approval of an Exception to the Subdivision Ordinance. Please contact staff to determine if an exception is needed and to discuss the necessary Findings.

STORM DRAINAGE:

How will your project handle storm water runoff? (Check one) Drainage Basin Direct Discharge Overland

Other: (please explain) _____

If direct discharge is proposed, what specific waterway are you proposing to discharge to? _____

Please Note: If direct discharge is proposed, you will be required to obtain a NPDES permit from the Regional Water Quality Control Board, and must provide evidence that you have contacted them regarding this proposal with your application.

EROSION CONTROL:

If you plan on grading any portion of the site, please provide a description of erosion control measures you propose to implement.

SWPPP

Please note: You may be required to obtain an NPDES Storm Water Permit from the Regional Water Quality Control Board and prepare a Storm Water Pollution Prevention Plan.

ADDITIONAL INFORMATION:

Please use this space to provide any other information you feel is appropriate for the County to consider during review of your application. (Attach extra sheets if necessary)



CENTRAL CALIFORNIA INFORMATION CENTER

California Historical Resources Information System
Department of Anthropology – California State University, Stanislaus
One University Circle, Turlock, California 95382
(209) 667-3307

Alpine, Calaveras, Mariposa, Merced, San Joaquin, Stanislaus & Tuolumne Counties

Date: February 12, 2018

CCaIC File #: 10610N

Project: Parcel split application for 4924
Nunes Road (formerly Keyes Road),
Turlock, CA 95382; APN 045-050-010

JSMaK LLC, Property Owner
363 W. Escalon Avenue
Clovis, CA 93612

Email: c/o Komaldeep Singh Dr.KSingh@protonmail.com

Dear Mr. Singh,

We have conducted a records search as per your request for the above-referenced project area located on the Ceres USGS 7.5-minute quadrangle map in Stanislaus County.

Search of our files includes review of our maps for the specific project area and the immediate vicinity of the project area, and review of the National Register of Historic Places (NRHP), the California Register of Historical Resources (CRHR), *California Inventory of Historic Resources* (DPR 1976), the *California Historical Landmarks* (1990), and the California Points of Historical Interest listing (May 1992 and updates), the Directory of Properties in the Historic Property Data File (HPDF) and the Archaeological Determinations of Eligibility (ADOE) (Office of Historic Preservation current computer lists dated 3-20-2014 and 4-05-2012, respectively), the *Survey of Surveys* (1989), GLO Plats and other historic maps on file for the area, and other pertinent historic data available at the CCIC for each specific county.

The following details the results of the records search:

Prehistoric or historic resources within the project area:

No prehistoric or historic archaeological resources have been reported to the CCaIC. However, this does not guarantee that they do not exist in this area.

No historic properties or buildings have been reported to the CCaIC.

Other information: historic USGS maps and aerial photos suggest the likelihood that this parcel was the former location of a residence and/or ranch with two or more buildings, dating to at least 1916. It is very possible that archaeological remnants of these structures, as well as associated historic artifacts and refuse deposits, may exist on and under the ground.

Prehistoric or historic resources within the immediate vicinity of the project area:

None have been reported to the CCaIC, but it is possible that buildings or structures over 45 years old, or their remnants, and associated artifact scatters or refuse deposits, exist on adjacent properties.

Resources that are known to have value to local cultural groups:

None have been formally reported to the Information Center.

Previous investigations within the project area:

One cultural resources study has been reported that included a very narrow survey corridor along Nunes Road (when it was Keyes Road) as a tiny part of a much more extensive study area; this particular property is not mentioned:

CCaIC report #ST-00859 Author/Date: Chavez (1976)
An Archaeological Reconnaissance of the Robert's Ferry Reservoir and Water Extraction and Conveyance Systems, Stanislaus County, California: Phase II.

Previous investigations within the immediate vicinity of the project area:

No others have been reported.

Recommendations/Comments:

Based on existing data in our files the project area has a low sensitivity for prehistoric resources (Native American sites), but a moderate sensitivity for the possible discovery of historic-era resources associated with past domestic or ranching use. Survey by a qualified historical resources consultant is recommended prior to implementation of the project or issuance of any discretionary permit.

The Statewide Referral List for Historical Resources Consultants is posted for your use on the internet at <http://chrisinfo.org>

Please be advised that a historical resource is defined as a building, structure, object, prehistoric or historic archaeological site, or district possessing physical evidence of human activities over 45 years old. There may be unidentified features involved in your project that are 45 years or older and considered as historical resources requiring further study and evaluation by a qualified professional of the appropriate discipline.

We advise you that in accordance with State law, if any historical resources are discovered during project-related activities, all work is to stop and the lead agency and a qualified professional are to be consulted to determine the importance and appropriate treatment of the find. If Native American remains are found the County Coroner and the Native American Heritage Commission, Sacramento (916-373-3710) are to be notified immediately for recommended procedures.

We further advise you that if you retain the services of a historical resources consultant, the firm or individual you retain is responsible for submitting any report of findings prepared for you to the Central California Information Center, including one copy of the narrative report and two copies of any records that document historical resources found as a result of field work. If the consultant wishes to obtain copies of materials not included with this records search reply, additional copy or records search fees may apply.

The provision of CHRIS Data via this records search response does not in any way constitute public disclosure of records otherwise exempt from disclosure under the California Public Records Act or any other law, including, but not limited to, records related to archeological site information maintained by or on behalf of, or in the possession of, the State of California, Department of Parks and Recreation, State Historic Preservation Officer, Office of Historic Preservation, or the State Historical Resources Commission.

Due to processing delays and other factors, not all of the historical resource reports and resource records that have been submitted to the Office of Historic Preservation are available via this records search. Additional information may be available through the federal, state, and local agencies that produced or paid for historical resource management work in the search area. Additionally, Native American tribes have historical resource information not in the CHRIS Inventory, and you should contact the California Native American Heritage Commission for information on local/regional tribal contacts.

The California Office of Historic Preservation (OHP) contracts with the California Historical Resources Information System's (CHRIS) regional Information Centers (ICs) to maintain information in the CHRIS inventory and make it available to local, state, and federal agencies, cultural resource professionals, Native American tribes, researchers, and the public. Recommendations made by IC coordinators or their staff regarding the interpretation and application of this information are advisory only. Such recommendations do not necessarily represent the evaluation or opinion of the State Historic Preservation Officer in carrying out the OHP's regulatory authority under federal and state law.

We thank you for using the California Historical Resources Information System (CHRIS). Please let us know when we can be of further service. Please sign and return the attached Access Agreement Short Form.

Note: Billing (\$150.00) will be transmitted separately via email from our Financial Services Office (lamarroquin@csustan.edu or MSR270@csustan.edu), payable within 60 days of receipt of the invoice.

Sincerely,



R. L. Hards, Assistant Research Technician
Central California Information Center
California Historical Resources Information System

*Invoice to: Laurie Marroquin lamarroquin@csustan.edu, Financial Services

**KEYES COMMUNITY SERVICES DISTRICT
5601 7TH STREET
P O BOX 699
KEYES, CA 95328**

February 13, 2018

JSMAC, LLC
363 W. Escalon Avenue
Clovis, CA 93637

Re: Will Serve Letter Request For Property at 4924 Nunes Road, Keyes, CA 95328
APN 045-050-10

Dear Mr. Singh:

The Keyes Community Services District is willing to provide the requested water and sewer service on the following conditions:

1. All water service lines and sewer connections must be installed to District standards and according to plans approved by the District, at the expense of the owner.
2. All applicable District connection, facilities and inspection fees must be paid upon application for connections.
3. The owner must comply with all District rules and regulations.
4. This will-serve commitment will expire on February 13, 2019 unless construction has commenced by that date.
5. This Will Service Letter is valid only upon approval by Stanislaus County Local Agency Formation Commission (LAFCO).
6. This Will Serve Letter does not officially accept and approve the Layout as submitted with your application.

Sincerely,



Ernie Garza
General Manager
By: Michelle Harris

OPERATIONAL STATEMENT

November 15, 2018

Stanislaus County
Department of Planning and Community Development
1010 10th Street, Suite 3400
Modesto, CA 95354

Project Name/Location: **Nunes Road Travel Plaza Business Park**
4924 Nunes Road
Keyes, CA 95382
APN: 045-050-10
Ex. Zoning: A-2-10
New Zoning: PD – PLANNED DEVELOPMENT

Project Description:

The Nunes Travel Plaza Business Park project is being submitted by the property owner Mr. Jasvir Singh and pertains to 8.6 acres of property located at the 4924 Nunes Road. APN: 045-050-10 and is currently zoned as A-2-10. The Owner I am requesting authorization rezone the existing zone to PD – (Planned Development) for the construction of a new commercial plaza containing a convenient/mini-mart store, tenant spaces/restaurant, truck wash/repair shop, and fuel stations for vehicles and trucks. The new parking lot is proposed as shown on the site plan. The existing site currently has few trees, vegetation, and rest of the land is undeveloped.

The new facility will be serving the surrounding community for their needs such as fueling, refreshments, food, snacks, soft drinks, etc.

Business Name: Nunes Travel Plaza

Product / Services: Cold beer, soda, liquor, snacks, etc. In addition, it will have convenient store goods such as candy, gum, coffee, and other drinks, etc. Fuel, diesel, and propane gas will be sold.

Anticipated Traffic: This business would require approximately five delivery truck visits per week, 3-4 fuel deliveries per week, 3-4 regular deliveries per day. In addition, 10-20 customers at any given time are expected.

Number of Employees: About 5-10 employees at any-given time.

On site storage/Equipment: Minor storage will be required in the storage room and no major equipment except fixed walk-in cooler, few other refrigerators, coffee machines, ice machines, soda machines, etc. The gas station will require-on ground tanks.

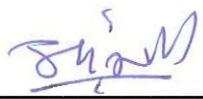
Security Measures: Security cameras mounted on designated hooded light poles throughout the premises.

Operation Time: This will be 24/7 all year around operation business assisting the community.

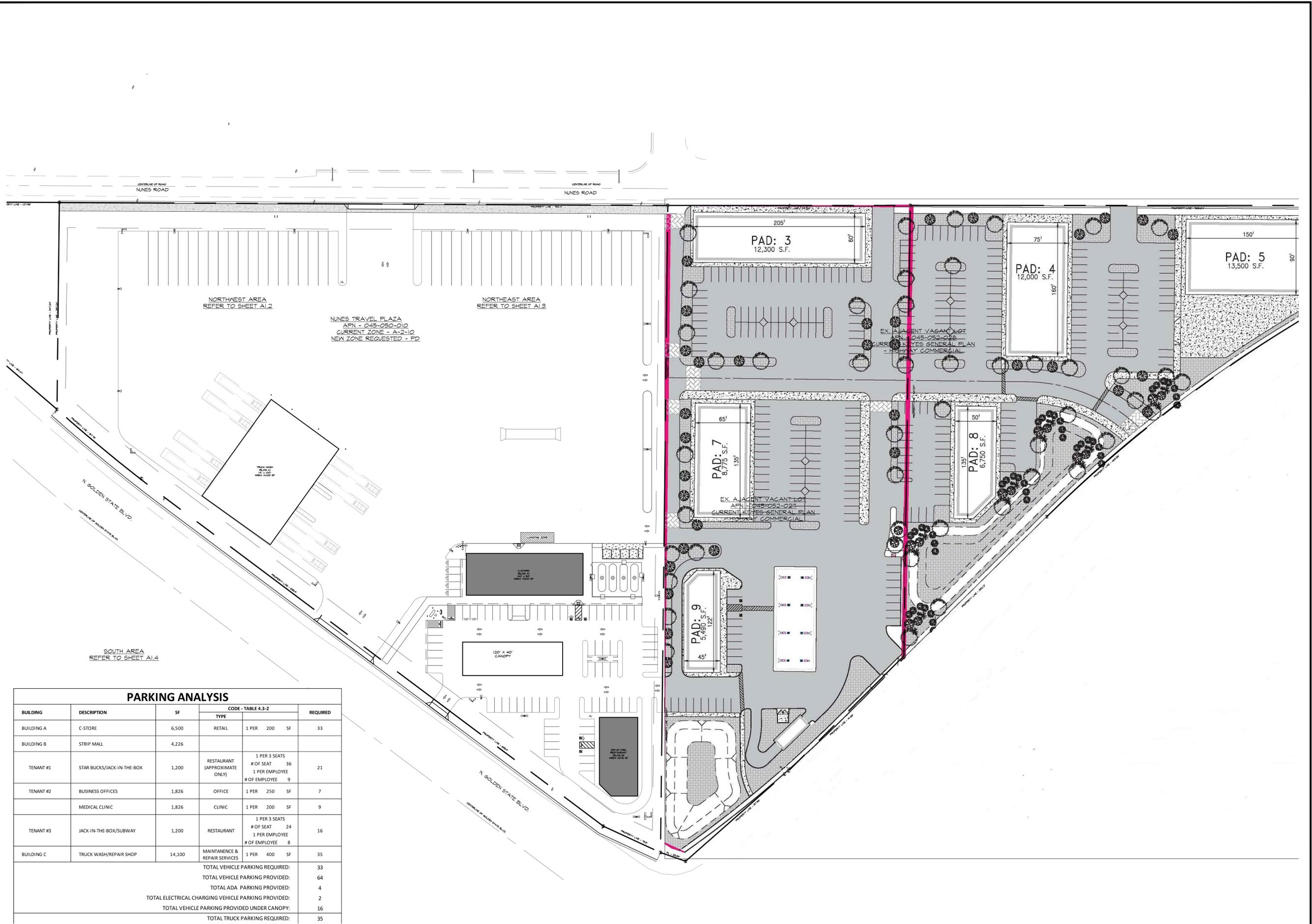
Access to Site:	One truck driveway on Nunes Road and one truck driveway along with 2 vehicle driveway on Golden State Blvd. (Refer to plans)
Parking:	62 vehicle parking stall 4 ADA parking 2 Electric Vehicle charging stalls 43 truck parking stalls Truck weight scale (Refer to plans)
Supplies or Material:	It will be regular convenient store supplies, fuel, food, snack, etc.
Unightly Appearance:	N/A
Solid or Liquid Waste:	Solid waste will be from restrooms and future adjacent restaurants Double Two double trash bin with grease enclosure for future restaurant accommodation 3-4 trash pick-ups per week Liquid waste will be from restrooms, truck wash, future kitchen equipment and will be discharged into City Sewer System
Estimated Water Usage:	Estimated water usage will be determined by using data from typical facilities as such and the source of water supply will be from City water service.
Advertising Sign:	One 100' high advertising sign will be mounted on pole (Refer to plans)
Buildings:	140' x 50', 7000 sf Convenience Store (Bldg A) 4276 sf Restaurant (Bldg B) (future Jack-In-The-Box) 121' x 100' Truck Wash/Repair Shop (Bldg C) 40' x 120', 16 bay vehicle fuel canopy 40' x 100', 5 bay truck fuel canopy (Refer to plans)
Outdoor Lighting:	Typical hooded parking lighting Street lights Exterior building lights
Landscape:	Landscape areas are approximately 53,295.1 sf and consist of different kinds of trees, shrubs, hedges, etc. all through-out (Refer to landscape plans)

Development Schedule:	Phase 1 –	To be constructed in 1-2 years of project approval.
	Includes –	Truck Wash Building (Bldg C) All Truck driveways and approaches All public sidewalks, street curbs and gutters
	Phase 2 –	To be constructed in 1-2 years of Phase 1.
	Includes –	C-Store (Bldg A) Vehicular Fuel Canopy Above-ground Fuel Tanks Trash Enclosure Vehicular Parking Lot for both Bldg A and B All Vehicular driveways and approaches Pedestrian Sidewalks to both Bldg A and B
Phase 3 –	To be constructed in 1-2 years of Phase 2.	
Includes –	Truck Fuel Canopy Truck Parking Lot Truck Scale	
Phase 4 –	To be constructed in 1-2 years of Phase 3.	
Includes –	Bldg B - Jack-In-The-Box Drive-Thru	

The new facility meets all set back requirements from property lines and streets. There is an AG land approximately 180.23 feet west of the property and another one approximately 234.16 feet southeast of property. There are some residential properties to the north and northwest along with numerous Highway Commercial properties adjacent to the west and east of ours on the same block. In addition, there's a 10 foot dedication along Nune Road frontage.

Sincerely  _____
Jasvir Singh

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PARKING ANALYSIS

BUILDING	DESCRIPTION	SF	CODE - TABLE 4.3-2			REQUIRED
			TYPE	1 PER	200 SF	
BUILDING A	C-STORE	6,500	RETAIL	1 PER	200 SF	33
BUILDING B	STRIP MALL	4,226				
TENANT #1	STARBUCKS/JACK-IN-THE-BOX	1,200	RESTAURANT (APPROXIMATE ONLY)	1 PER 3 SEATS # OF SEAT 36 1 PER EMPLOYEE # OF EMPLOYEE 9		21
TENANT #2	BUSINESS OFFICES	1,826	OFFICE	1 PER 250 SF		7
	MEDICAL CLINIC	1,826	CLINIC	1 PER 200 SF		9
TENANT #3	JACK-IN-THE-BOX/SUBWAY	1,200	RESTAURANT	1 PER 3 SEATS # OF SEAT 24 1 PER EMPLOYEE # OF EMPLOYEE 8		16
BUILDING C	TRUCK WASH/REPAIR SHOP	14,100	MAINTENANCE & REPAIR SERVICES	1 PER 400 SF		35
TOTAL VEHICLE PARKING REQUIRED:						33
TOTAL VEHICLE PARKING PROVIDED:						64
TOTAL ADA PARKING PROVIDED:						4
TOTAL ELECTRICAL CHARGING VEHICLE PARKING PROVIDED:						2
TOTAL VEHICLE PARKING PROVIDED UNDER CANOPY:						16
TOTAL TRUCK PARKING REQUIRED:						35

PROJECT
TRAVEL PLAZA
CONVENIENCE STORE AND TRUCK STOP
 4924 NUNES ROAD
 KEYES, CA 95382
 APN: 045-050-10



Revisions:	Date:
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2	

PROPOSED OVERALL SITE PLAN

CVEAS JOB #: 18003

DATE: 1-22-2018

PLANNING SUBMITTAL #: 00-0000

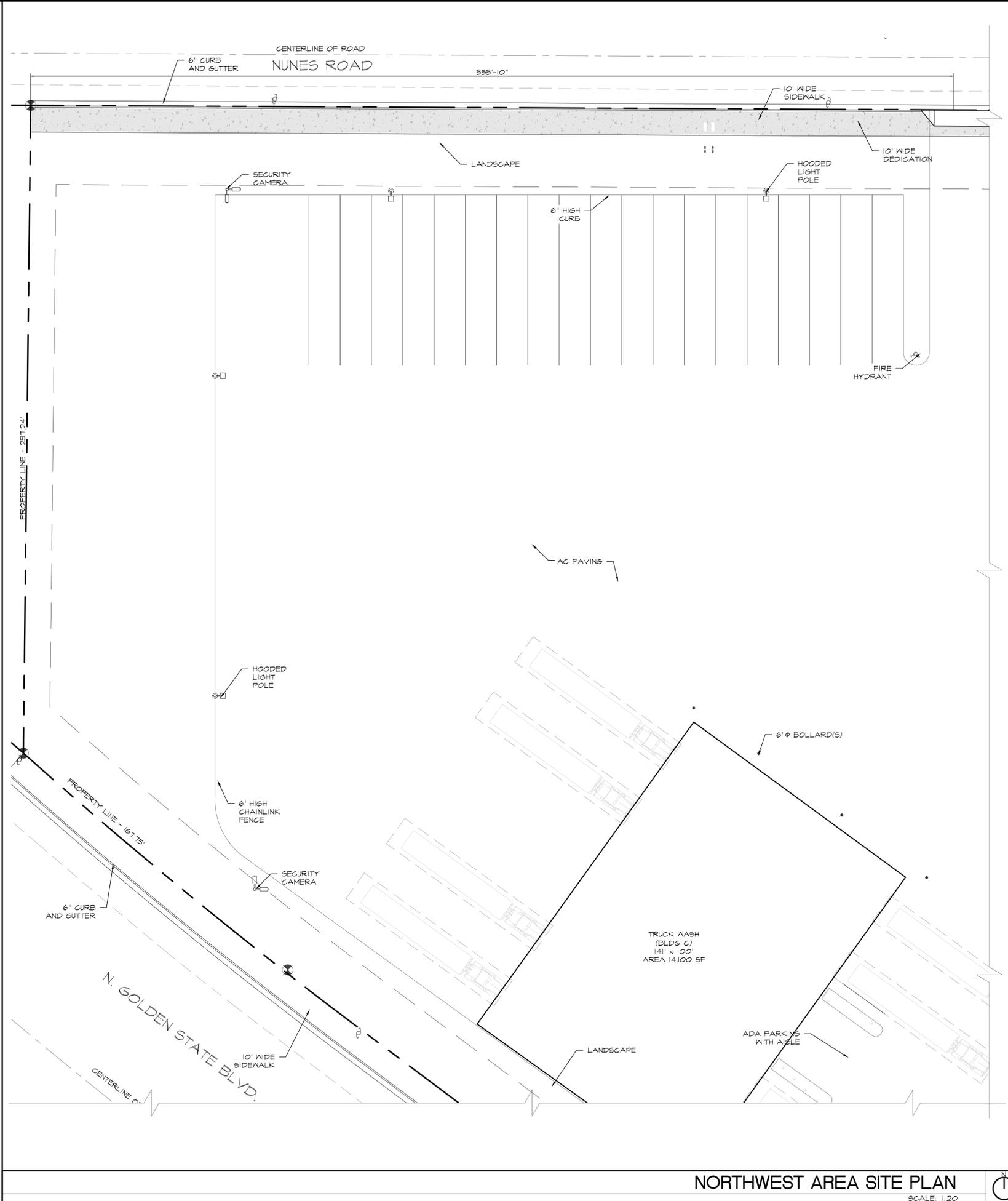
PLAN CHECK SUBMITTAL #: 00-0000

DRAWN BY: KX

CHECKED BY: RL

SCALE: AS NOTED

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NORTHWEST AREA SITE PLAN

SCALE: 1:20

811 CALL UNDERGROUND SERVICE ALERT (U.S.A.)
 TOLL FREE (800) 227-2600
 48 HOURS BEFORE EXCAVATING

LEGEND:

- STEEL	- NATIVE SOIL
- MASONRY	- ENGINEERED FILL
- AGGREGATE	- A.C. PAVING
- DEDICATION	- CONCRETE
- TRUNCATED DOMES	- LANDSCAPE

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 ENGINEERING & SURVEYING, INC.
 2132 HIGH STREET TEL: (559) 891-8811
 SELMA, CA 93662 FAX: (559) 891-8815
 WWW.CVEAS.COM EMAIL: INFO@CVEAS.COM

PROJECT
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 4924 NUNES ROAD
 KEYES, CA 95382
 APN: 045-050-10



Revisions:	Date:
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NORTHWEST AREA SITE PLAN

CVEAS JOB #:	18003
DATE:	1-22-2018
PLANNING SUBMITTAL #:	00-0000
PLAN CHECK SUBMITTAL #:	00-0000
DRAWN BY:	KX
CHECKED BY:	RL
SCALE:	AS NOTED

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NORTHEAST AREA SITE PLAN

SCALE: 1:20

811 CALL UNDERGROUND SERVICE ALERT (U.S.A.)
 TOLL FREE (800) 227-2600
 48 HOURS BEFORE EXCAVATING

LEGEND:

- STEEL	- NATIVE SOIL
- MASONRY	- ENGINEERED FILL
- AGGREGATE	- A.C. PAVING
- DEDICATION	- CONCRETE
- TRUNCATED DOMES	- LANDSCAPE

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NORTHEAST AREA SITE PLAN

CVEAS JOB #: 18003

DATE: 1-22-2018

PLANNING SUBMITTAL #: 00-0000

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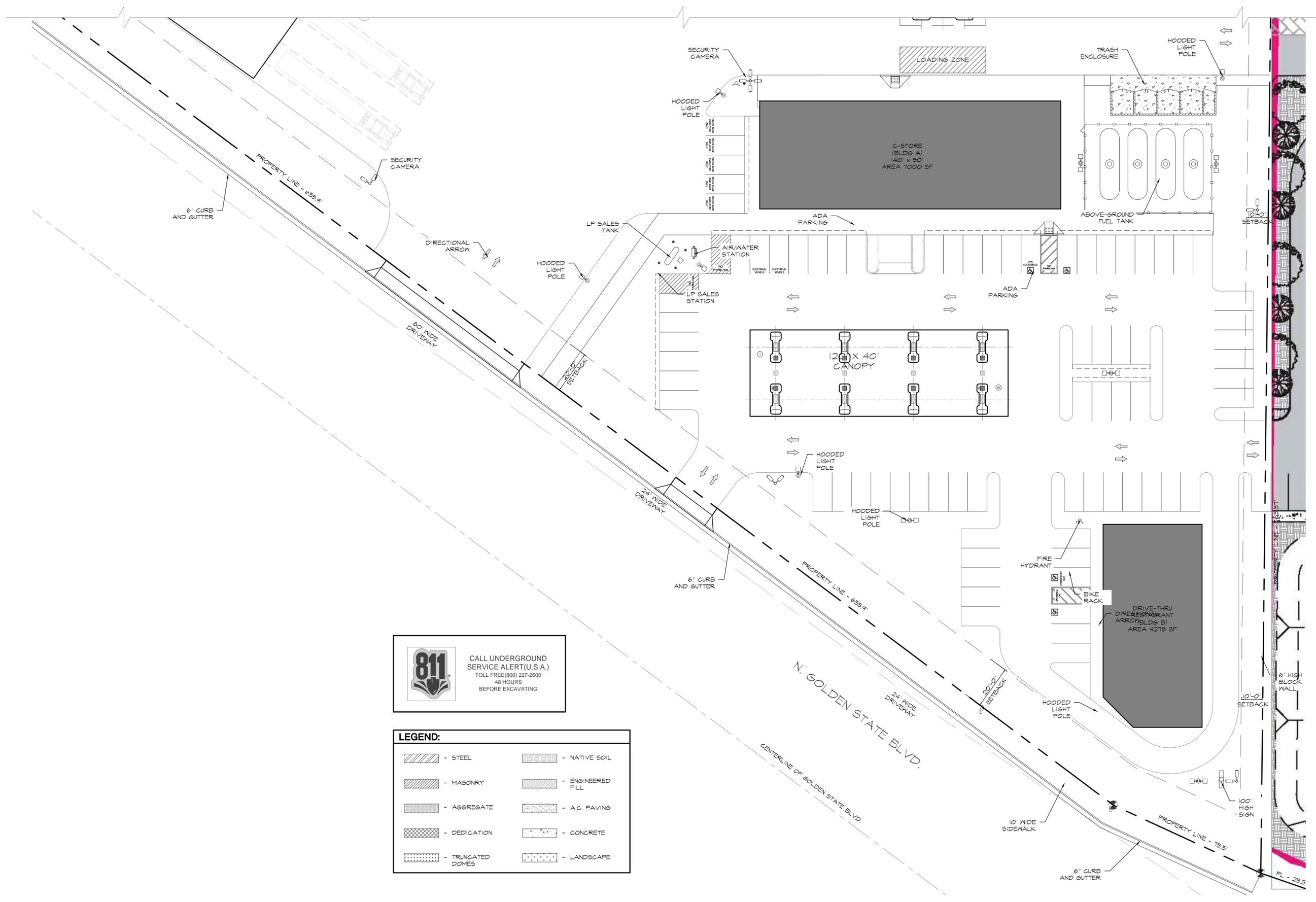
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SCALE: AS NOTED

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811 CALL UNDERGROUND SERVICE ALERT (U.S.A.)
TOLL FREE (800) 227-2600
48 HOURS BEFORE EXCAVATING

LEGEND:

	- STEEL		- NATIVE SOIL
	- MASONRY		- ENGINEERED FILL
	- AGGREGATE		- A.C. PAVING
	- DEDICATION		- CONCRETE
	- TRUNCATED DOMES		- LANDSCAPE

SOUTH AREA SITE PLAN
SCALE: 1:20

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APN: 045-050-10



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SOUTH AREA SITE PLAN

CVEAS JOB #:	18003
DATE:	1-22-2018
PLANNING SUBMITTAL #:	00-0000
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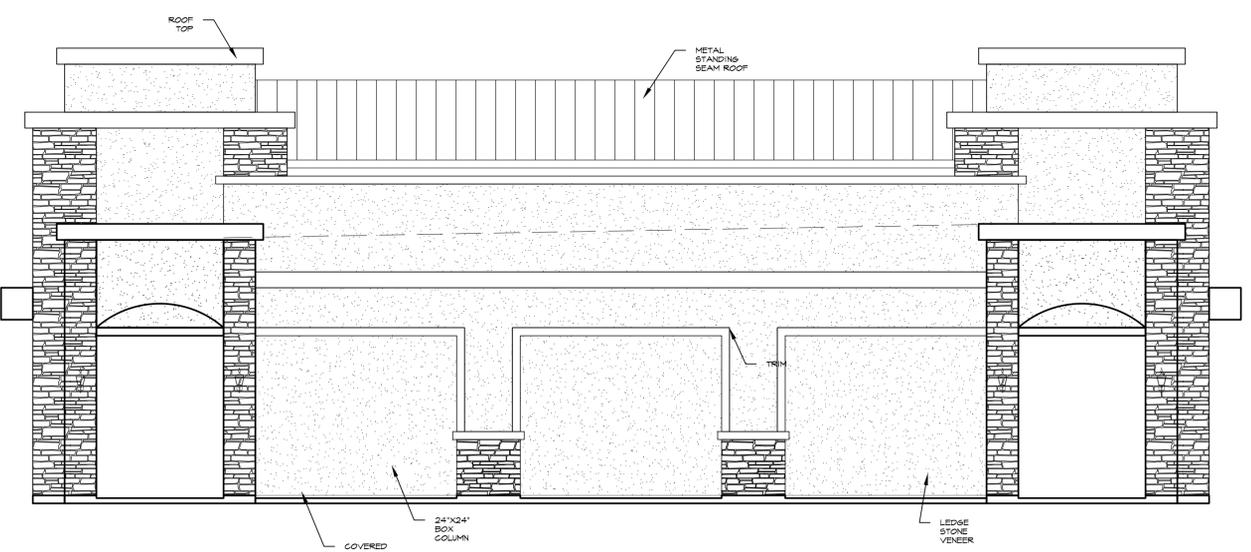
ROOF APEX	28'-8"
TOWER ROOF APEX	24'-0"
PLATE HEIGHT - SECOND	21'-0"
TOP OF PARAPET WALL	20'-0"
TOP OF SLOPED ROOF AT REAR	17'-0"
FINISHED FLOOR - SECOND	13'-0"
PLATE HEIGHT	12'-0"
CEILING HEIGHT - FIRST	10'-0"
OPENING HEIGHT - WINDOW	9'-0"
OPENING HEIGHT - DOOR	7'-0"
FINISHED FLOOR	0'-0"
GROUND	0'-(-6")

SOUTH ELEVATION - FRONT 1
SCALE: 1/8"=1'-0"

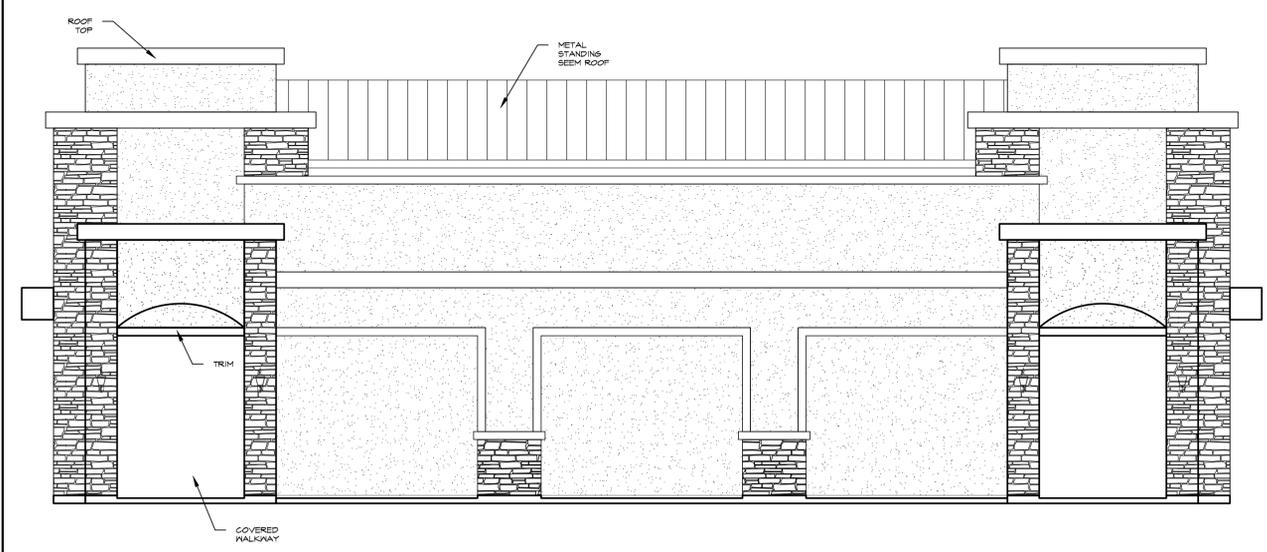


ROOF APEX	28'-8" X
TOWER ROOF APEX	24'-0" X
PLATE HEIGHT - SECOND	21'-0" X
TOP OF PARAPET WALL	20'-0" X
TOP OF SLOPED ROOF AT REAR	16'-4.5" X
FINISHED FLOOR - SECOND	13'-0" X
PLATE HEIGHT	12'-0" X
CEILING HEIGHT - FIRST	10'-0" X
OPENING HEIGHT - WINDOW	9'-0" X
OPENING HEIGHT - DOOR	7'-0" X
FINISHED FLOOR	0'-0" X
GROUND	0'-(-6") X

NORTH ELEVATION - REAR 2
SCALE: 1/8"=1'-0"



WEST ELEVATION - LEFT SIDE 3
SCALE: 1/8"=1'-0"



EAST ELEVATION - RIGHT SIDE 4
SCALE: 1/8"=1'-0"

PROJECT
TRAVEL PLAZA
CONVENIENCE STORE AND TRUCK STOP
4924 NUNES ROAD
KEYES, CA 95382
APN: 045-050-10



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BLDG "A" ELEVATIONS

CVEAS JOB #:	18003
DATE:	1-22-2018
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DRAWN BY:	KX
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SCALE:	AS NOTED

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PROJECT
TRAVEL PLAZA
CONVENIENCE STORE AND TRUCK STOP
4924 NUNES ROAD
KEYES, CA 95382
APN: 045-050-10



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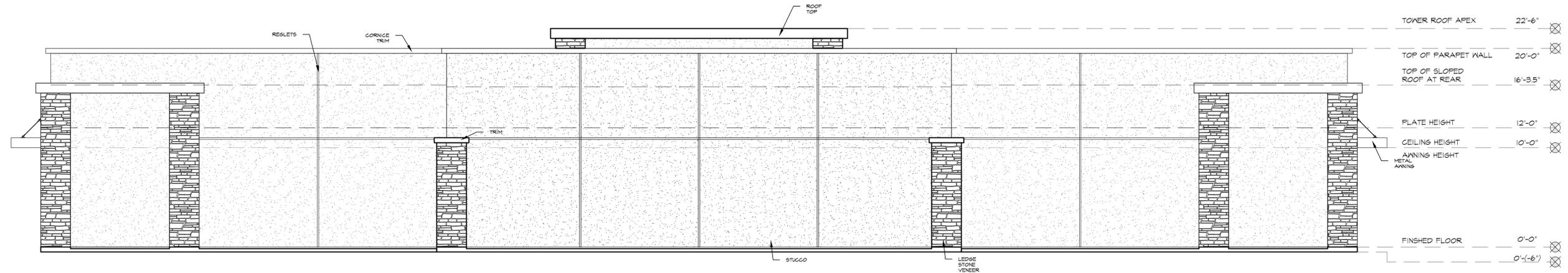
BLDG 'B' ELEVATIONS

CVEAS JOB #:	18003
DATE:	1-22-2018
PLANNING SUBMITTAL #:	00-0000
PLAN CHECK SUBMITTAL #:	00-0000
DRAWN BY:	KX
CHECKED BY:	RL
SCALE:	AS NOTED



TOWER ROOF APEX	22'-6"	⊗
TOP OF PARAPET WALL	20'-0"	⊗
TOP OF SLOPED ROOF AT REAR	16'-3.5"	⊗
PLATE HEIGHT	12'-0"	⊗
CEILING HEIGHT	10'-0"	⊗
ANNING HEIGHT		⊗
FINISHED FLOOR	0'-0"	⊗
	0'-(-6")	⊗

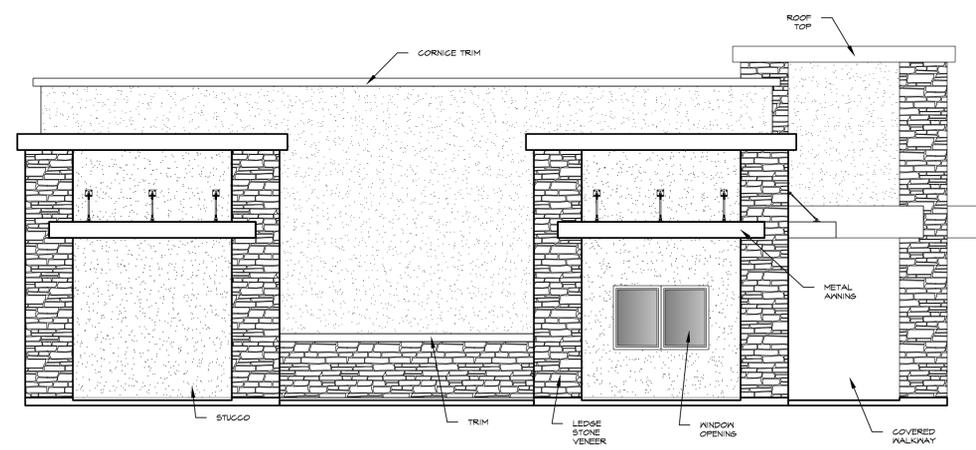
NORTH ELEVATION - FRONT
 SCALE: 1/8"=1'-0"



TOWER ROOF APEX	22'-6"	⊗
TOP OF PARAPET WALL	20'-0"	⊗
TOP OF SLOPED ROOF AT REAR	16'-3.5"	⊗
PLATE HEIGHT	12'-0"	⊗
CEILING HEIGHT	10'-0"	⊗
ANNING HEIGHT		⊗
FINISHED FLOOR	0'-0"	⊗
	0'-(-6")	⊗

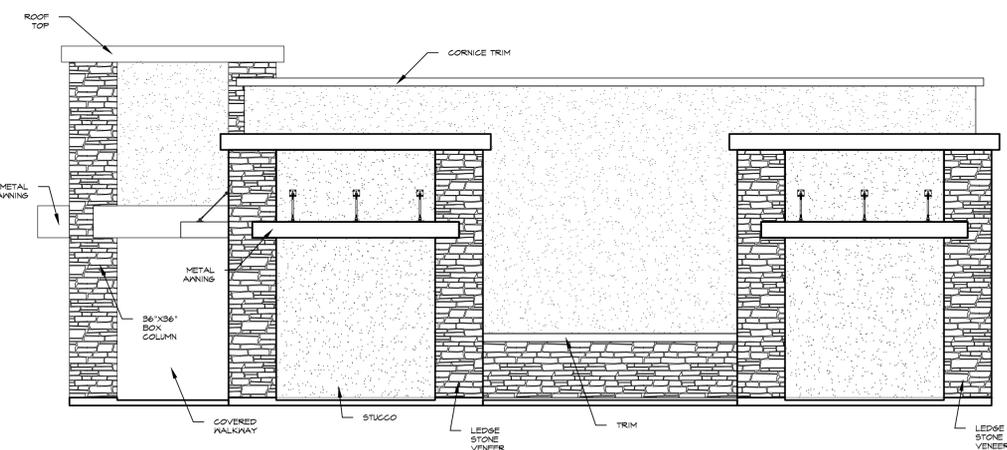
SOUTH ELEVATION - REAR
 SCALE: 1/8"=1'-0"

2



WEST ELEVATION - LEFT SIDE
 SCALE: 1/8"=1'-0"

3



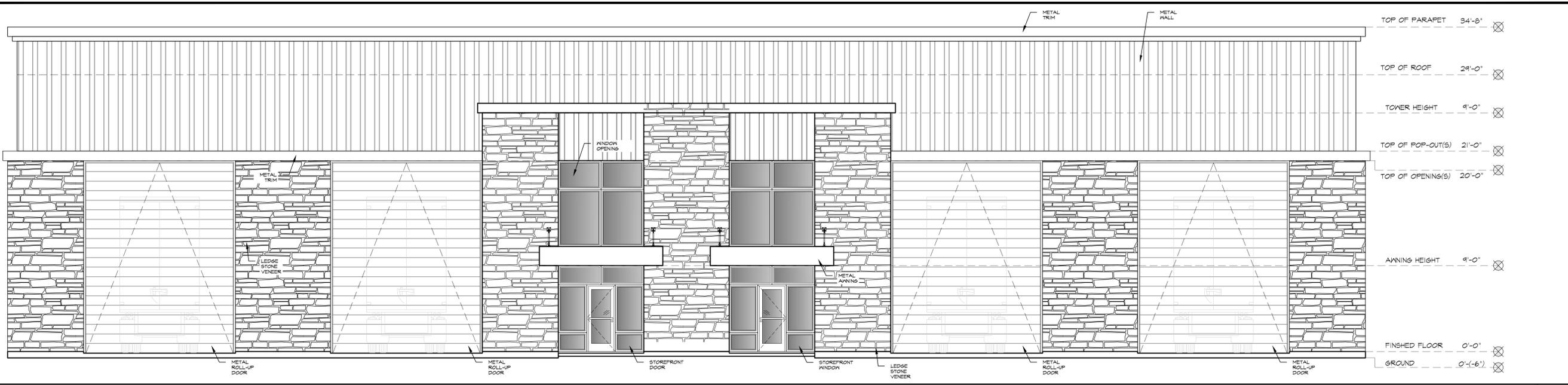
EAST ELEVATION - RIGHT SIDE
 SCALE: 1/8"=1'-0"

4

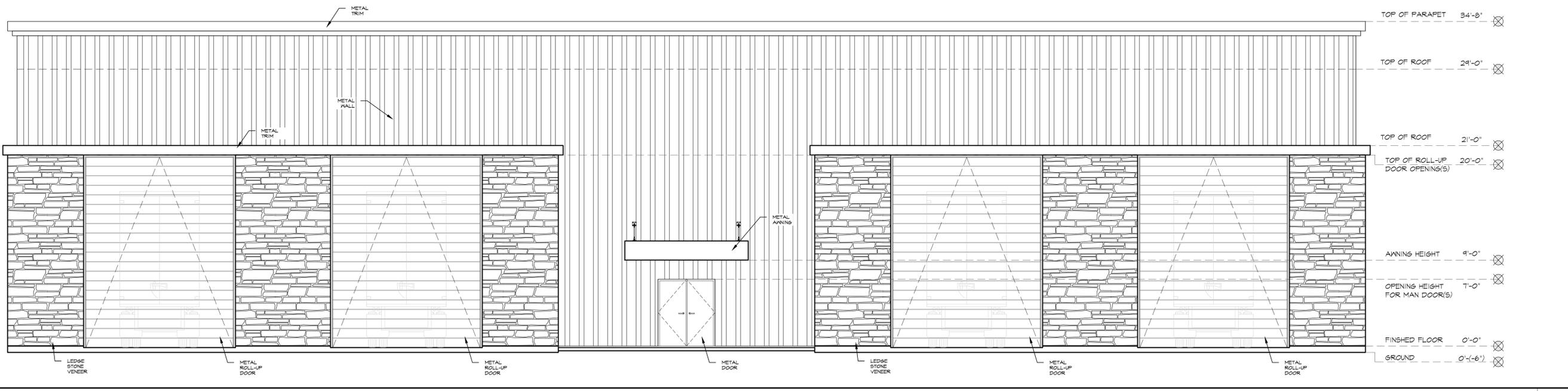
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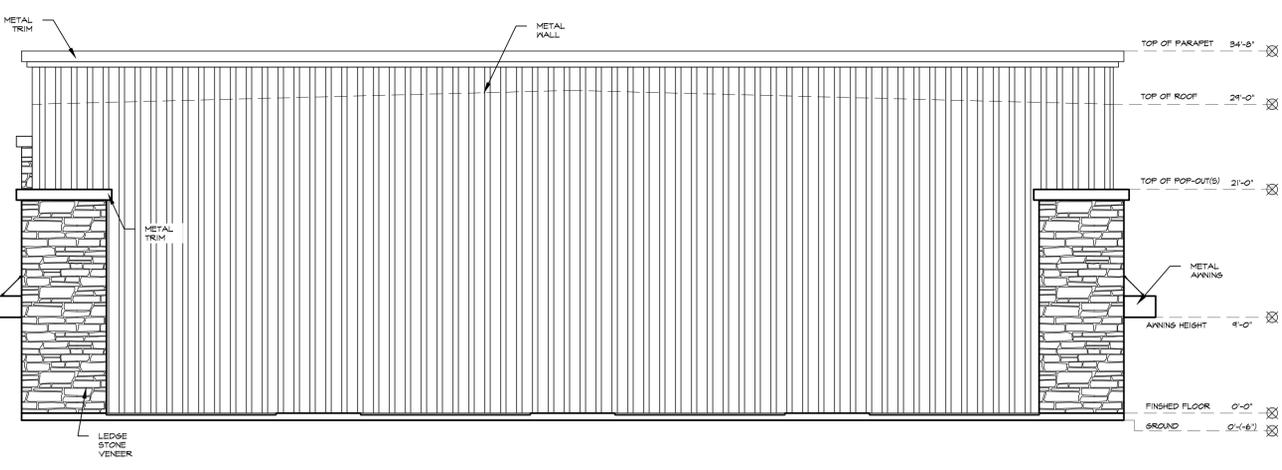
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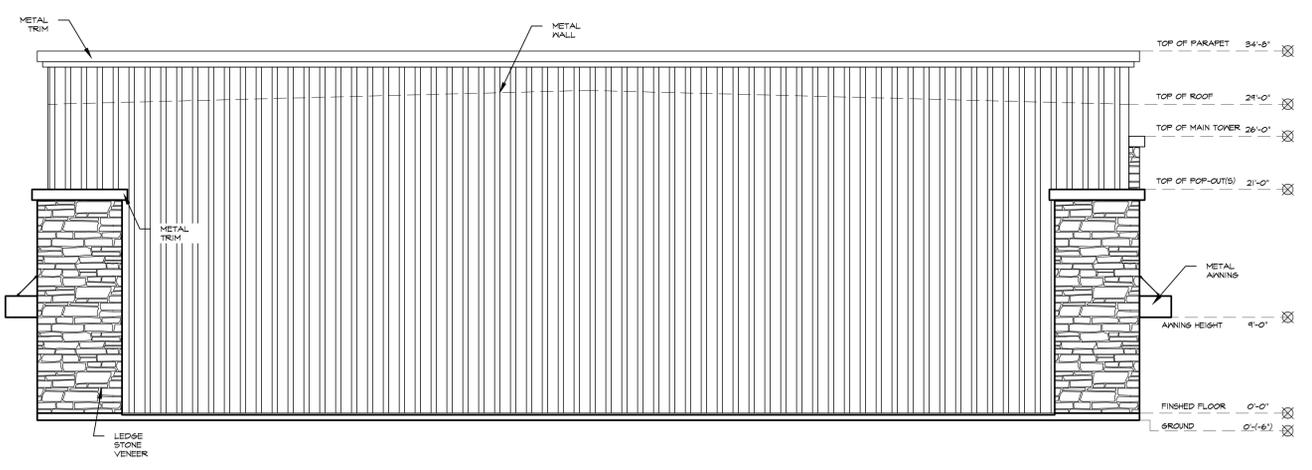
SOUTHEAST ELEVATION - FRONT 1
 SCALE: 3/16"=1'-0"



NORTHWEST ELEVATION - REAR 2
 SCALE: 3/16"=1'-0"



NORTH EAST ELEVATION - LEFT SIDE 3
 SCALE: 1/8"=1'-0"



SOUTHWEST ELEVATION - RIGHT SIDE 4
 SCALE: 1/8"=1'-0"

PROJECT
TRAVEL PLAZA
CONVENIENCE STORE AND TRUCK STOP
4924 NUNES ROAD
KEYES, CA 95382
APN: 045-050-10



Revisions:	Date:
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6	

BLDG 'C' ELEVATIONS

CVEAS JOB #:	18003
DATE:	1-22-2018
PLANNING SUBMITTAL #:	00-0000
PLAN CHECK SUBMITTAL #:	00-0000
DRAWN BY:	KX
CHECKED BY:	RL
SCALE:	AS NOTED

A2.2

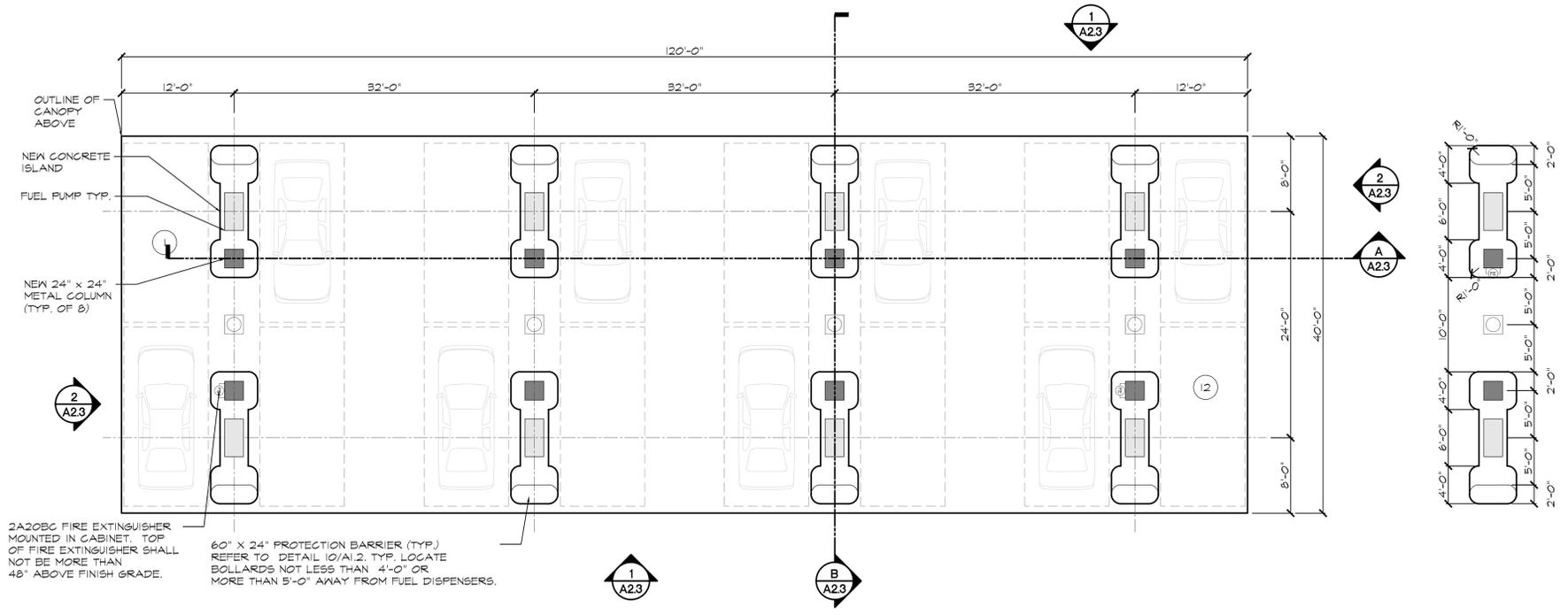
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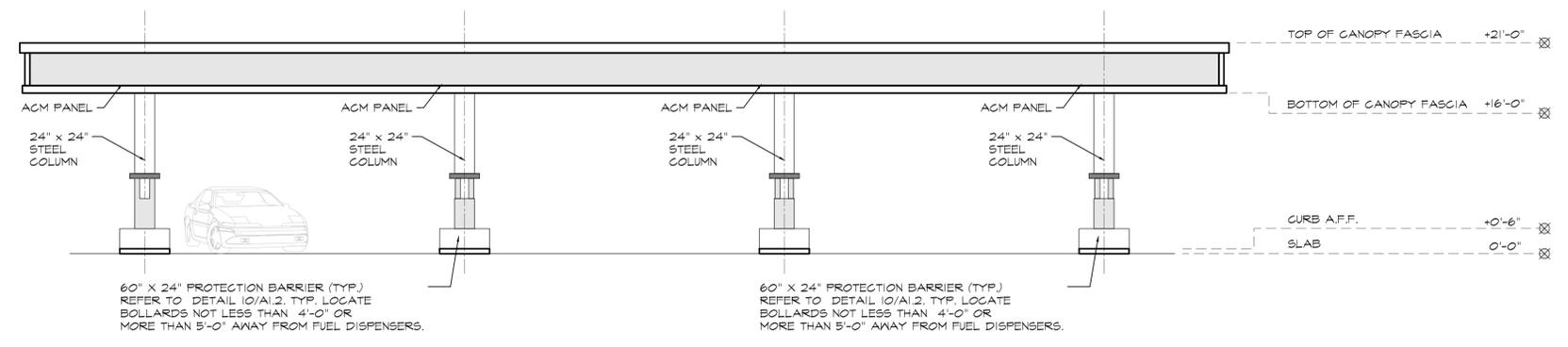
PROJECT
TRAVEL PLAZA
CONVENIENCE STORE AND TRUCK STOP
 4924 NUNES ROAD
 KEYES, CA 95382
 APN: 045-050-10

NOTE:
 1. THIS FACILITY WILL BE ATTENDED BY AT LEAST ONE QUALIFIED ATTENDANT WHILE THE FACILITY IS OPEN FOR BUSINESS.(CFC 2304.2)
 2. DISPENSER OPERATING INSTRUCTIONS SHALL BE POSTED IN APPROVED LOCATIONS ON EVERY DISPENSER.(CFC 2304.2.3)
 3. THE ATTENDANT SHALL BE ABLE TO COMMUNICATE WITH PERSONS IN THE DISPENSING AREA AT ALL TIMES. AN APPROVED METHOD OF COMMUNICATING WITH THE FIRE DEPARTMENT SHALL BE PROVIDED FOR THE ATTENDANT. (CFC 2304.2.5)



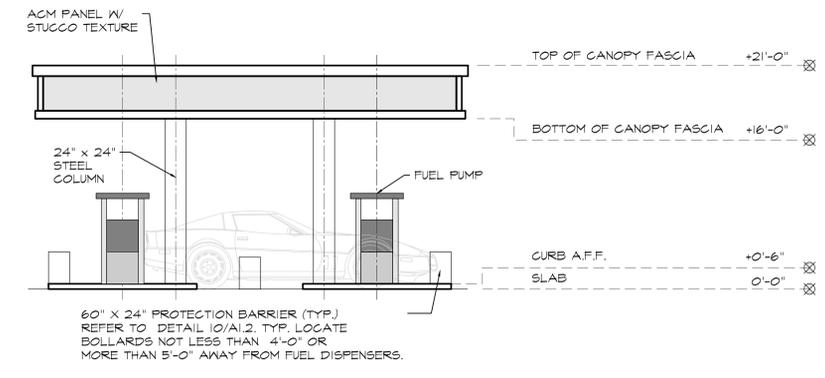
CANOPY FLOOR PLAN

SCALE: 3/16"=1'-0"



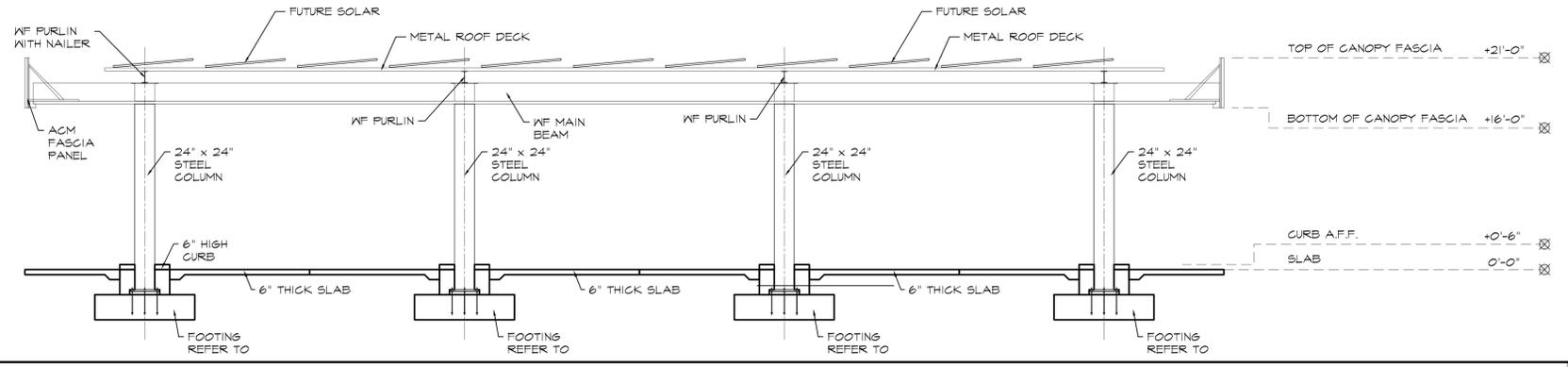
NORTH AND SOUTH VEHICLE CANOPY ELEVATIONS

SCALE: 1/8"=1'-0"



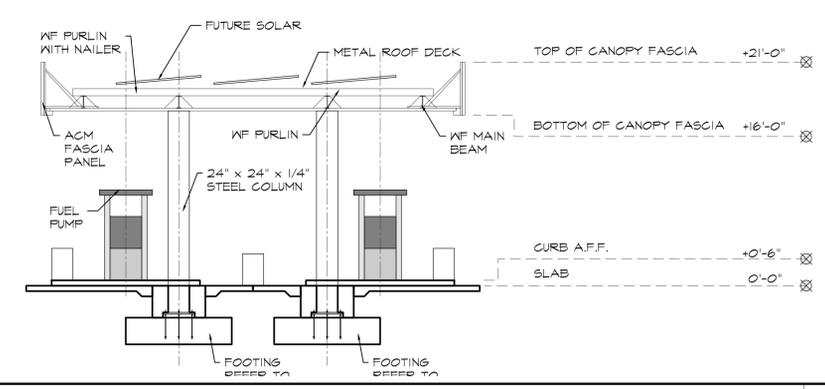
WEST AND EAST VEHICLE CANOPY ELEVATIONS

SCALE: 1/8"=1'-0"



CANOPY SECTION A

SCALE: 1/8"=1'-0"



CANOPY SECTION B

SCALE: 1/8"=1'-0"



Revisions:	Date:
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VEHICLE CANOPY PLAN, ELEVATIONS, AND SECTIONS

CVEAS JOB #:	18003
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PROJECT

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 CONVENIENCE STORE AND TRUCK STOP

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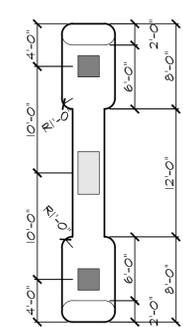
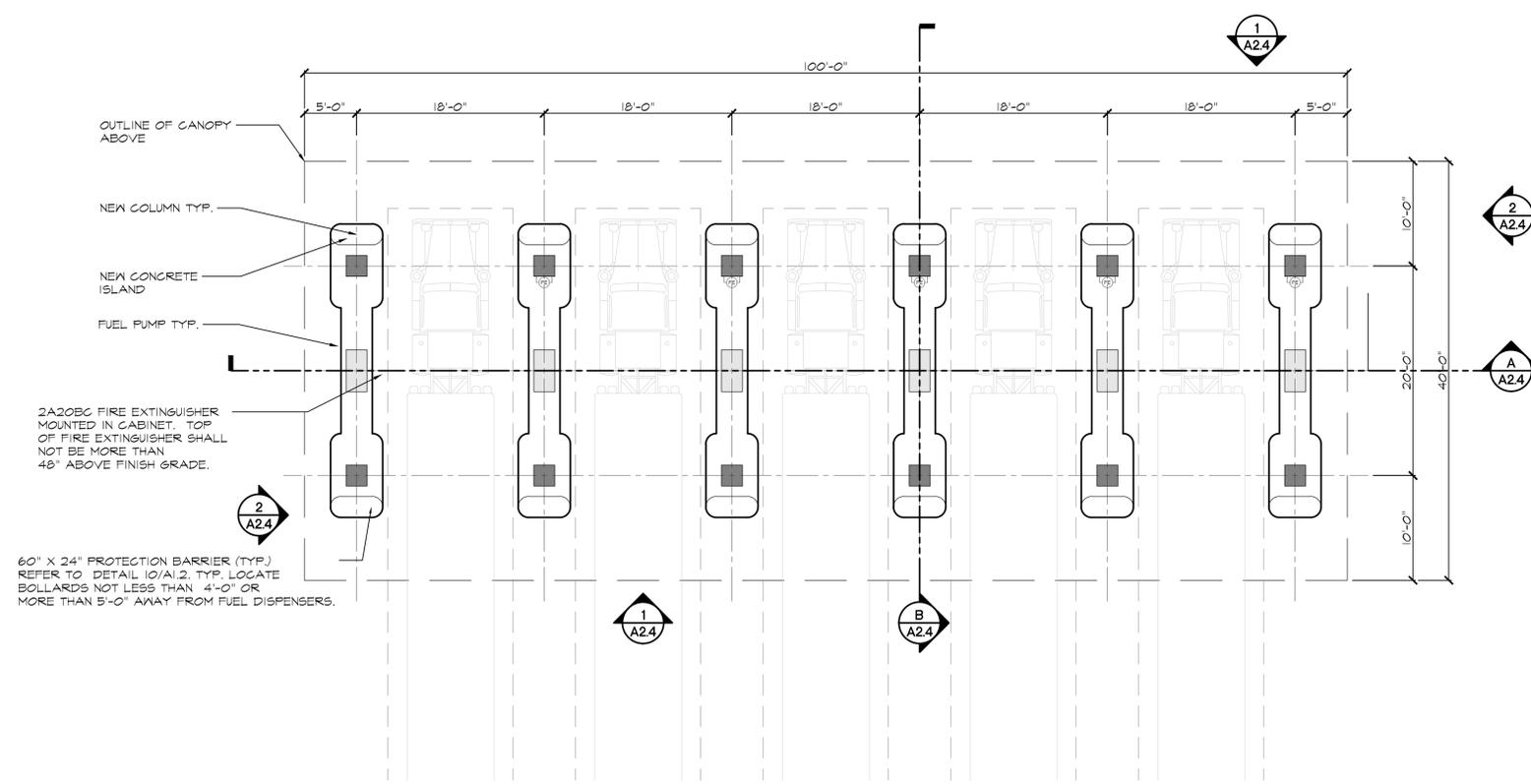
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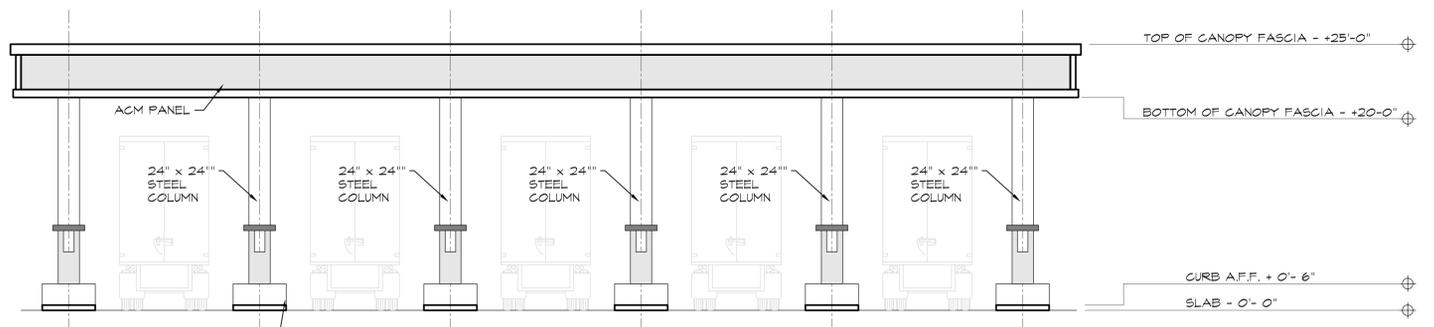
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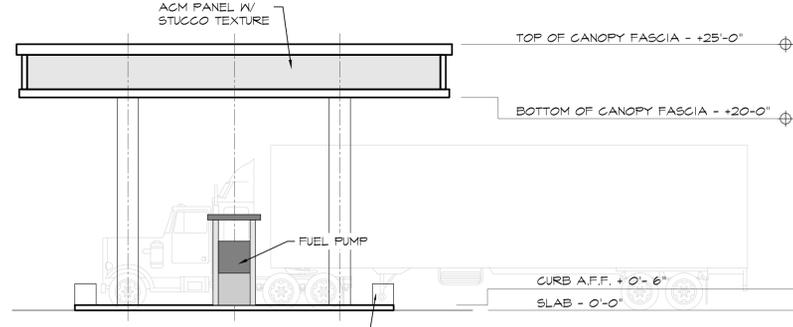
CANOPY FLOOR PLAN

 SCALE: 3/16"=1'-0"



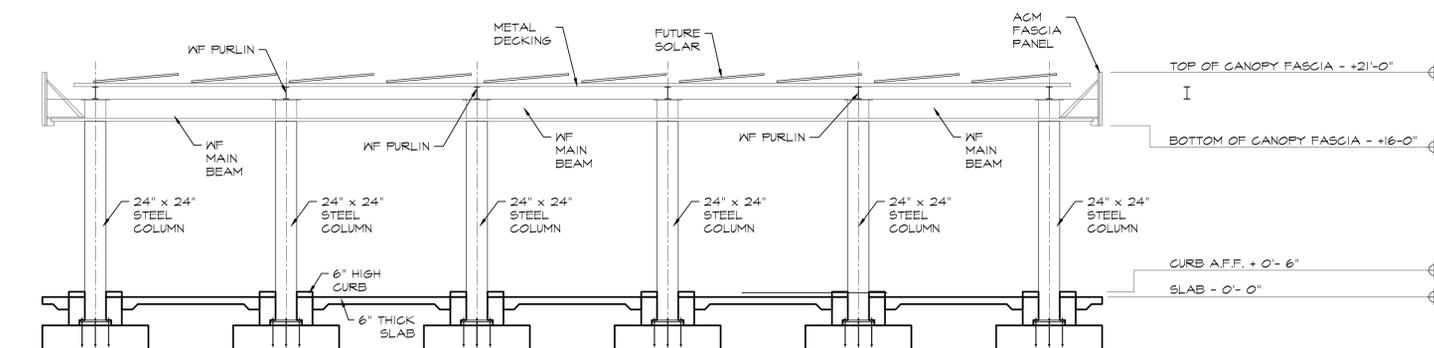
WEST AND EAST TRUCK CANOPY ELEVATIONS

 SCALE: 1/8"=1'-0"



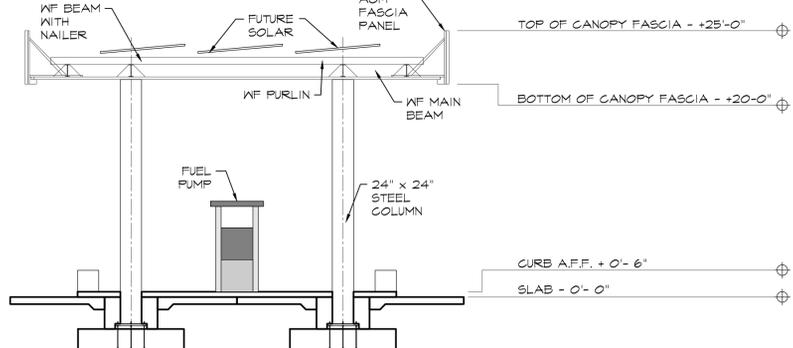
NORTH AND SOUTH TRUCK CANOPY ELEVATIONS

 SCALE: 1/8"=1'-0"



CANOPY SECTION A

 SCALE: 1/8"=1'-0"



CANOPY SECTION B

 SCALE: 1/8"=1'-0"

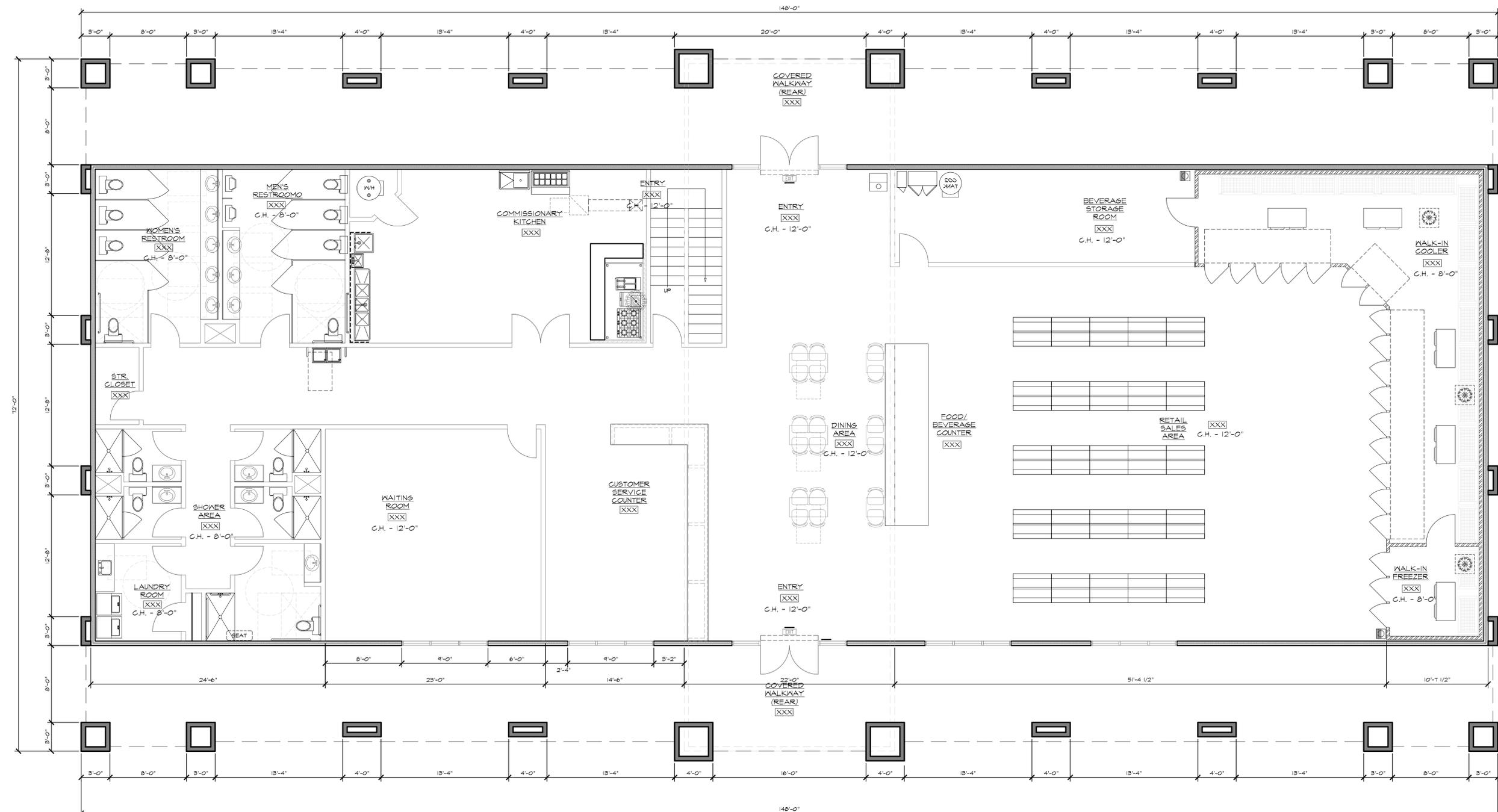


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TRUCK CANOPY PLAN, ELEVATIONS, AND SECTIONS

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SQUARE FOOTAGE	
TOTAL BUILDING AREA:	10500 S.F.
G-STORE AREA:	6300 S.F.
SECOND FLOOR:	1584 S.F.
COVERED WALKWAY:	1432 S.F.

LEGEND:	
	- STEEL
	- MASONRY
	- AGGREGATE
	- DEDICATION
	- TRUNCATED DOMES
	- NATIVE SOIL
	- ENGINEERED FILL
	- A.C. PAVING
	- CONCRETE
	- LANDSCAPE

WALL LEGEND	
	INTERIOR WALL - 2x6 DF #2 AT 16" O.C.
	EXTERIOR WALL - 2x6 DF #2 AT 16" O.C. R-19 INSULATION
	POP-OUTS AND BOX COLUMNS - 2x6 DF #2 AT 16" O.C.
	HOOD FIRE-RATED BACK WALL REFER TO DETAILS.
	PRE-FAB. METAL WALL - WALK-IN BOX
	COUNTER SUPPORT WALL - 34" MAX. HEIGHT

BLDG "A" FLOOR PLAN - GROUND
SCALE: 3/16" = 1'-0"

PROJECT
TRAVEL PLAZA
CONVENIENCE STORE AND TRUCK STOP
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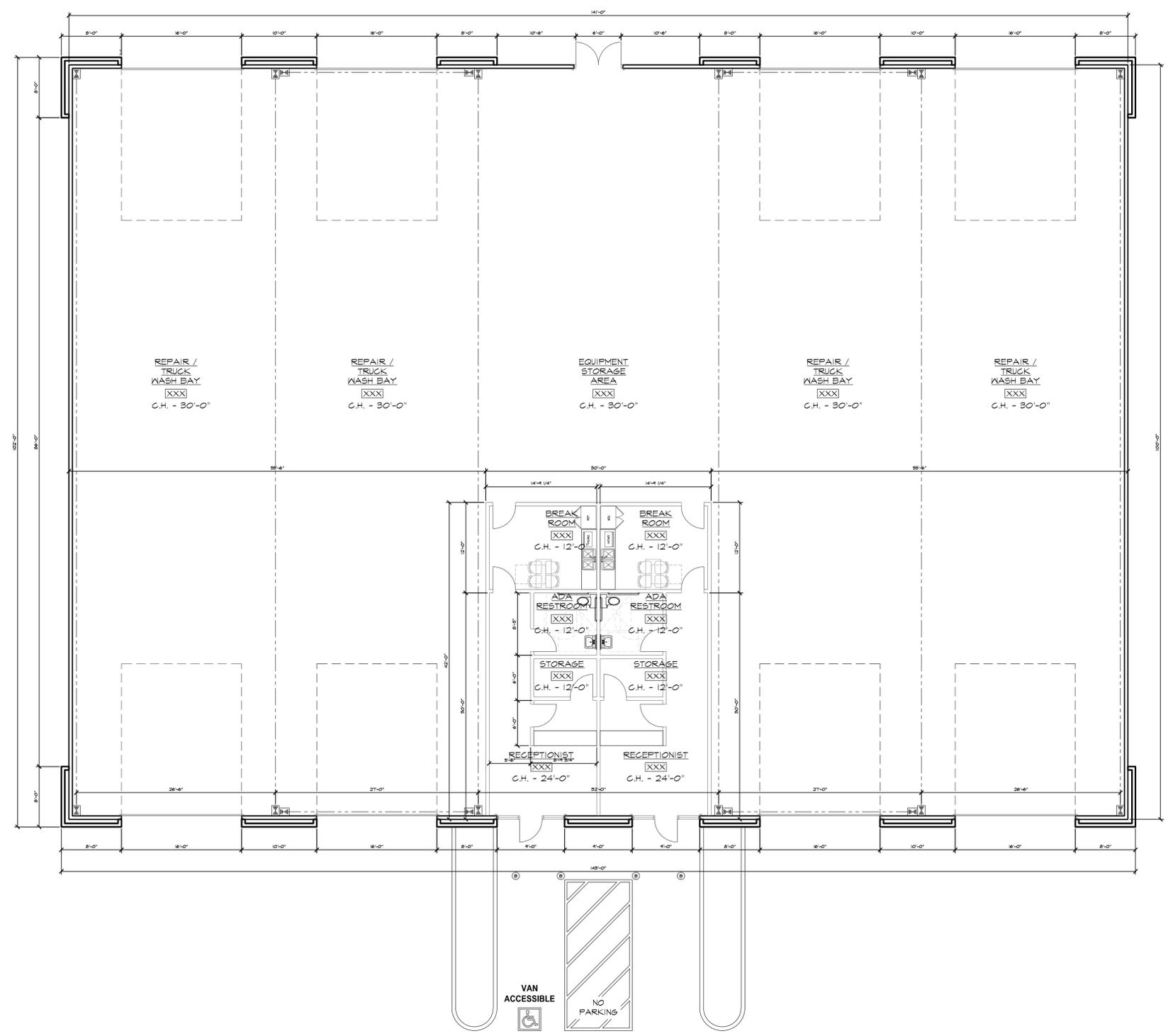
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BLDG "A"
FLOOR PLAN
GROUND

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SQUARE FOOTAGE	
TOTAL BUILDING AREA:	14,100 S.F.
TRUCK REPAIR / WASH AREA:	11,100 S.F.
OFFICE AREA:	1,260 S.F.
STORAGE AREA:	1,740 S.F.

LEGEND:	
	- STEEL
	- MASONRY
	- AGGREGATE
	- DEDICATION
	- TRUNCATED DOMES
	- NATIVE SOIL
	- ENGINEERED FILL
	- A.C. PAVING
	- CONCRETE
	- LANDSCAPE

WALL LEGEND	
	INTERIOR WALL - 2x6 DF #2 AT 16" O.C.
	EXTERIOR WALL - 2x6 DF #2 AT 16" O.C. R-19 INSULATION
	POP-OUTS AND BOX COLUMNS - 2x6 DF #2 AT 16" O.C.
	NEW 1-HOUR FIRE-SEPARATION WALL - 2x6 DF #2 @ 16" O.C. - 5/8" GYPSUM TYPE "X" ON EACH SIDE OF WALL EXTEND TO UNDERSIDE OF THE ROOF MATERIAL.

BLDG "C" FLOOR PLAN
SCALE: 1/8" = 1'-0"

PROJECT

TRAVEL PLAZA

CONVENIENCE STORE AND TRUCK STOP

4924 NUNES ROAD

KEYES, CA 95382

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BLDG "C" FLOOR PLAN	
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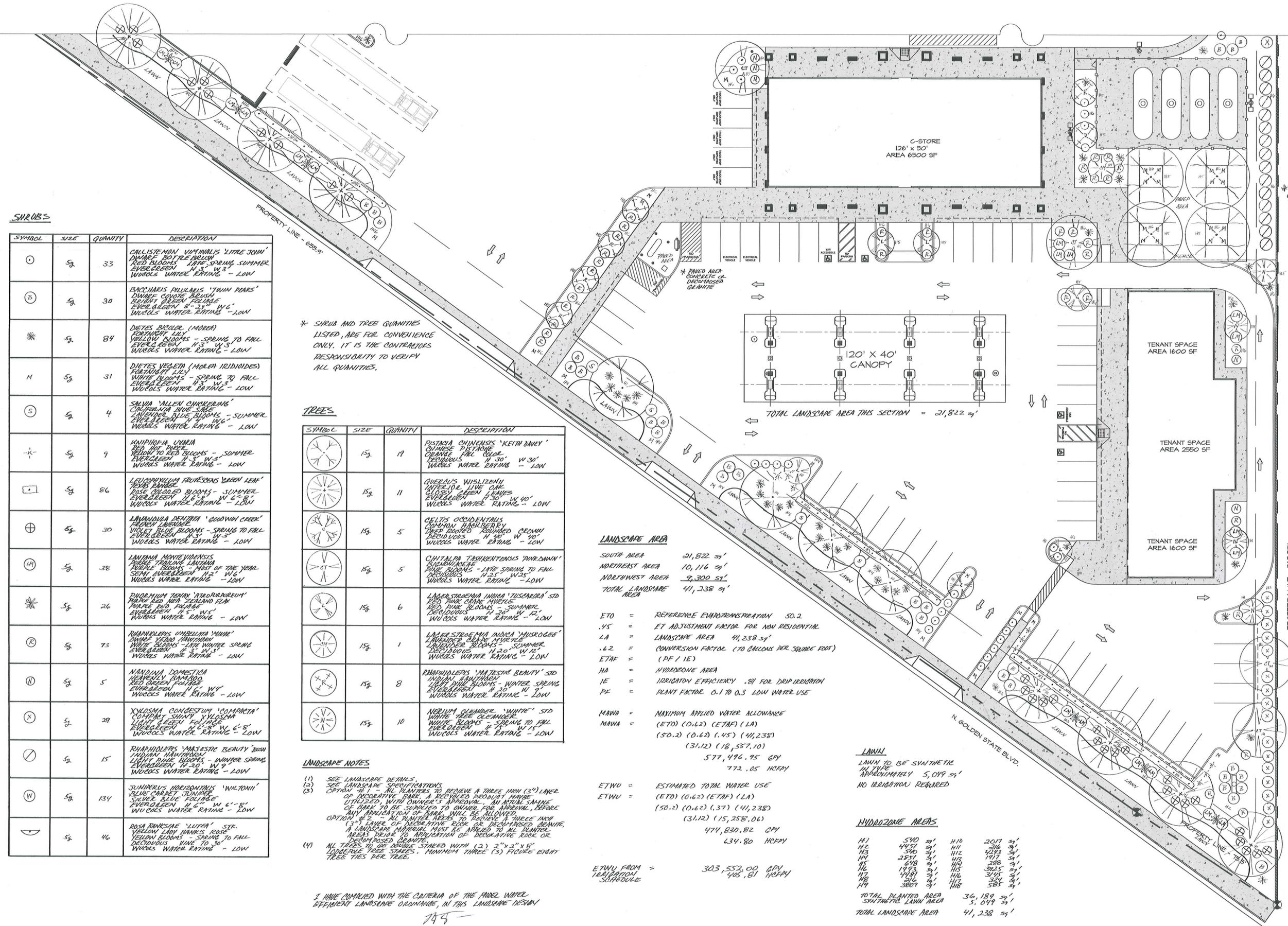
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LANDSCAPE PLAN SOUTH AREA

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SHRUBS

SYMBOL	SIZE	QUANTITY	DESCRIPTION
○	5g	33	CALLISTEMON VIMINALIS 'LITTLE JOHN' DWARF RED BLOOMING EVERGREEN - W 3' H 3' WOODS WATER RATING - LOW
⊙	5g	30	BACCHARIS FALCATA 'TANN PEAKS' DWARF COYOTE BRUSH BRIGHT GREEN FOLIAGE EVERGREEN - W 2' H 2' WOODS WATER RATING - LOW
⊛	5g	84	DIETES BICOLOR (MOREA) FORTNIGHT LAY YELLOW BLOOMS - SPRING TO FALL EVERGREEN - W 3' H 3' WOODS WATER RATING - LOW
M	5g	31	DIETES VEGETA (MOREA IRIDIODES) WHITE BLOOMS - SPRING TO FALL EVERGREEN - W 3' H 3' WOODS WATER RATING - LOW
⊙	5g	4	SAVIA 'VALLEN CHALKERING' CALIFORNIA BLUE SAGE LAVENDER BLUE BLOOMS - SUMMER EVERGREEN - W 6' H 6' WOODS WATER RATING - LOW
⊙	5g	9	KNIPHOFIA UMBRA RED HOT PINK ROSE COLORED BLOOMS - SUMMER EVERGREEN - W 3' H 3' WOODS WATER RATING - LOW
⊙	5g	86	LEUCANHTHUS PROTEREUS 'GREEN LEAF' ROSE COLORED BLOOMS - SUMMER EVERGREEN - W 6' H 6' WOODS WATER RATING - LOW
⊕	5g	30	LAVANDULA DENTATA 'GOODWIN CREEK' FRENCH LAVENDER VIOLET BLUE BLOOMS - SPRING TO FALL EVERGREEN - W 2' H 2' WOODS WATER RATING - LOW
⊙	5g	38	LANTANA MONTEVIDEENSIS FAVORITE LANTANA YELLOW TO RED BLOOMS - YEAR ROUND EVERGREEN - W 2' H 2' WOODS WATER RATING - LOW
⊙	5g	26	DYODIUM TENAX 'ATROCARBUREUM' PURPLE PINK FOLIAGE PURPLE PINK FOLIAGE EVERGREEN - W 3' H 3' WOODS WATER RATING - LOW
⊙	5g	73	RHAMNOLIPS CAMELLIA 'MAMA' DWARF YELLO HAWTHORN WHITE BLOOMS - WINTER SPRING EVERGREEN - W 3' H 3' WOODS WATER RATING - LOW
⊙	5g	5	NANDINA DOMESTICA HEAVENLY BAMBOO RED BLOOMS - WINTER SPRING EVERGREEN - W 6' H 6' WOODS WATER RATING - LOW
⊙	5g	29	XYLISMA CONGESTUM 'COMPACTA' DWARF SPYER XYLISMA LIGHT GREEN FOLIAGE EVERGREEN - W 2' H 2' WOODS WATER RATING - LOW
⊙	5g	15	RHAMNOLIPS 'MAJESTIC BEAUTY' DWARF YELLO HAWTHORN LIGHT PINK BLOOMS - WINTER SPRING EVERGREEN - W 3' H 3' WOODS WATER RATING - LOW
⊙	5g	134	JUNIPERUS HORIZONTALIS 'WILTONII' BLUE CARPET JUNIPER SILVER BLUE FOLIAGE EVERGREEN - W 6' H 6' WOODS WATER RATING - LOW
⊙	5g	46	ROSA BINKSIAE 'LUTEA' STR. BOLDEN LION ROSE ROSE YELLOW BLOOMS - SPRING TO FALL DECIDUOUS W 3' H 3' WOODS WATER RATING - LOW

* SHRUB AND TREE QUANTITIES LISTED, ARE FOR CONVENIENCE ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL QUANTITIES.

TREES

SYMBOL	SIZE	QUANTITY	DESCRIPTION
⊙	15g	19	PISTACHIA CHINENSIS 'KEITH DAVEY' CHINESE PISTACHIO DECIDUOUS - W 30' H 30' WOODS WATER RATING - LOW
⊙	15g	11	QUERCUS WUSLIZENI WATER OAK LIVE OAK CHANGE FALL COLOR DECIDUOUS - W 30' H 40' WOODS WATER RATING - LOW
⊙	15g	5	CELTIS OCCIDENTALIS COMMON HAWBERRY TREE ROUNDED CROWN DECIDUOUS - W 40' H 40' WOODS WATER RATING - LOW
⊙	15g	5	CHITMATA TASHIRENTENSIS 'DARK LAMUN' SICHUAN ACACIA WHITE TREE DECAIDUOUS - W 30' H 30' WOODS WATER RATING - LOW
⊙	15g	6	LAURUS STRONCHIA INDICA 'TUSCANOLA' STD RED PURPLE BLOOMS - W 20' H 20' WOODS WATER RATING - LOW
⊙	15g	1	LAURUS STRONCHIA INDICA 'MUSKOGEE' LAVENDER CEASE PURPLE BLOOMS - W 20' H 20' WOODS WATER RATING - LOW
⊙	15g	8	RHAMNOLIPS 'MAJESTIC BEAUTY' STD DWARF YELLO HAWTHORN LIGHT PINK BLOOMS - WINTER SPRING EVERGREEN - W 3' H 3' WOODS WATER RATING - LOW
⊙	15g	10	NERIUM OLEANDER 'WHITE' STD WHITE TREE DECAIDUOUS - W 20' H 20' WOODS WATER RATING - LOW

LANDSCAPE NOTES

- SEE LANDSCAPE DETAILS.
- SEE LANDSCAPE SPECIFICATIONS.
- OPTION #1 - ALL PLANTERS TO RECEIVE A THREE INCH (3") LAYER OF DECORATIVE BARK. A RECYCLED PRODUCT MAY BE UTILIZED, WITH OWNER'S APPROVAL. AN EQUAL AMOUNT OF SAND TO BE SPUNDED TO UNDER FOR ANCHOR, BEFORE ANY APPLICATION OF BARK WILL BE ALLOWED. OPTION #2 - ALL PLANTERS TO RECEIVE A THREE INCH (3") LAYER OF DECORATIVE BARK OR DECOMPOSED GRANITE. A LANDSCAPE MATERIAL MUST BE APPLIED TO ALL PLANTER AREAS PRIOR TO APPLICATION OF DECORATIVE BARK OR DECOMPOSED GRANITE.
- ALL TREES TO BE DOUBLE STAKED WITH (2) 2"x2"x8' LUGGERE TREE STAKES. MINIMUM THREE (3) FIGURE EIGHT TREE TIES PER TREE.

LANDSCAPE AREA

SOUTH AREA 21,822 sq'
 NORTHEAST AREA 10,116 sq'
 NORTHWEST AREA 9,300 sq'
TOTAL LANDSCAPE AREA 41,238 sq'

ETO = REFERENCE EVAPOTRANSPIRATION SO.2
 .45 = ET ADJUSTMENT FACTOR FOR NON RESIDENTIAL
 LA = LANDSCAPE AREA 41,238 sq'
 .62 = CONVERSION FACTOR (70 GALLONS PER SQUARE FOOT) (PF 1 IE)
 HA = HYDROZONE AREA
 IE = IRRIGATION EFFICIENCY .81 FOR DRIP IRRIGATION
 PK = PLANT FACTOR 0.1 TO 0.3 LOW WATER USE

MAWA

MAXIMUM APPLIED WATER ALLOWANCE
 MAWA = (ETO) (0.62) (ETAF) (LA) (50.2) (0.62) (.45) (41,238) (31.12) (18,557.10)
 577,496.95 GPY
 772.05 HOFFPY

ETWU

ESTIMATED TOTAL WATER USE
 ETWU = (ETO) (0.62) (ETAF) (LA) (50.2) (0.62) (.37) (41,238) (31.12) (15,258.06)
 477,830.82 GPY
 634.80 HOFFPY

ETWU FROM

303,552.00 GPY
 405.81 HOFFPY

LAWN

LAWN TO BE SYNTHETIC
 APPROXIMATELY 5,049 sq'
 NO IRRIGATION REQUIRED

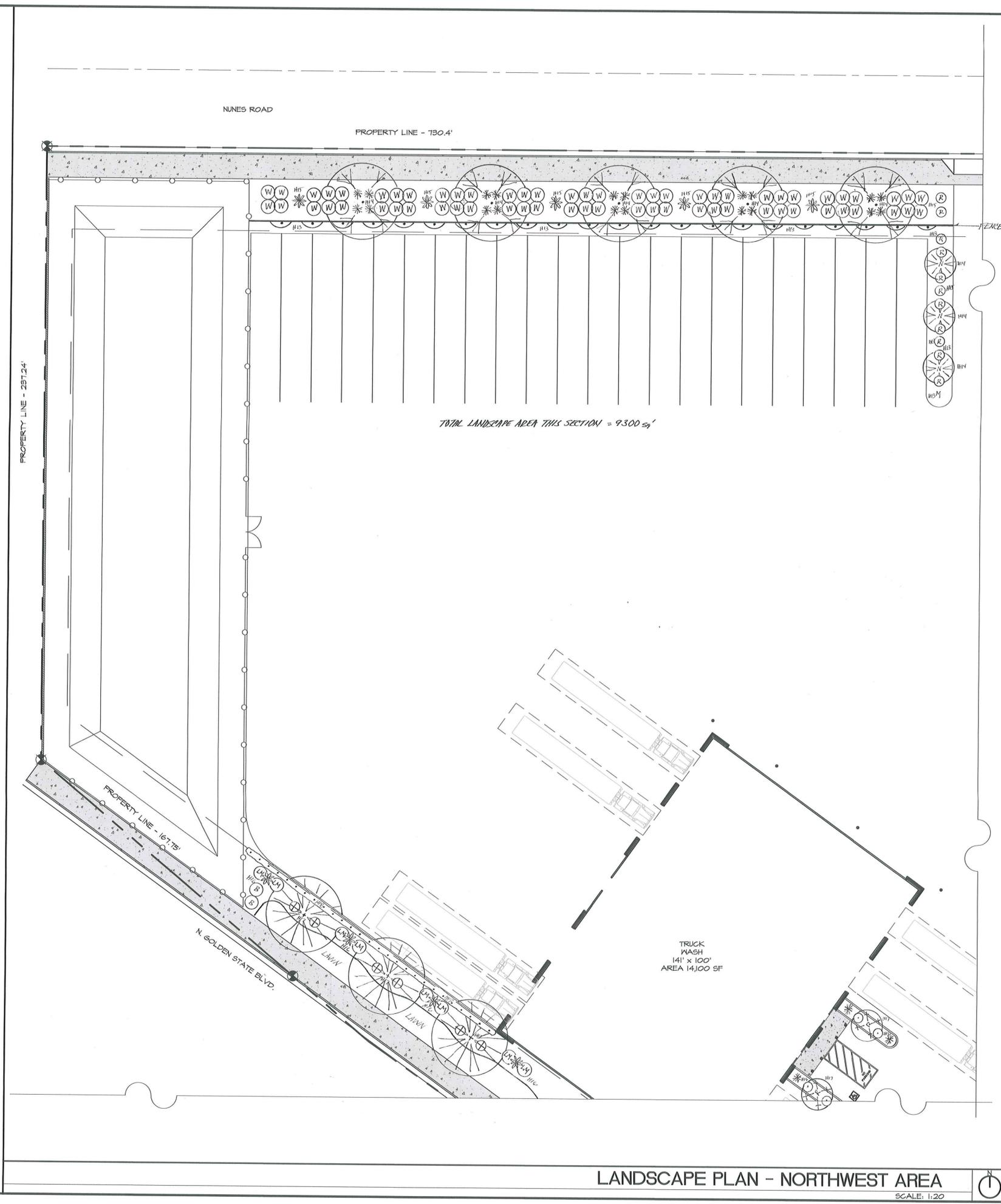
HYDROZONE AREAS

H1	540 sq'	H10	2071 sq'
H2	4451 sq'	H11	316 sq'
H3	540 sq'	H12	4223 sq'
H4	2571 sq'	H13	1917 sq'
H5	618 sq'	H14	288 sq'
H6	1993 sq'	H15	3825 sq'
H7	4481 sq'	H16	3495 sq'
H8	306 sq'	H17	344 sq'
H9	3809 sq'	H18	585 sq'

TOTAL PLANTED AREA 36,189 sq'
 SYNTHETIC LAWN AREA 5,049 sq'
TOTAL LANDSCAPE AREA 41,238 sq'

I HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE, IN THIS LANDSCAPE DESIGN

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 CLOVIS, CA 93612
 PHONE - 916-470-5520
 CONTACT - JESSE

PLANNING DEPARTMENT:
 STANISLAUS COUNTY
 DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT
 1010 10TH STREET, SUITE 8400
 MODESTO, CA 95354
 PHONE - 209-525-6330
 CONTACT - PLANNING DEPARTMENT

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**LANDSCAPE PLAN
 NORTHWEST AREA**

CVEAS JOB #:	18003
DATE:	1-22-2018
PLANNING SUBMITAL #:	00-0000
PLAN CHECK SUBMITAL #:	00-0000
DRAWN BY:	KX
CHECKED BY:	RL
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LANDSCAPE PLAN - NORTHWEST AREA
 SCALE: 1:20

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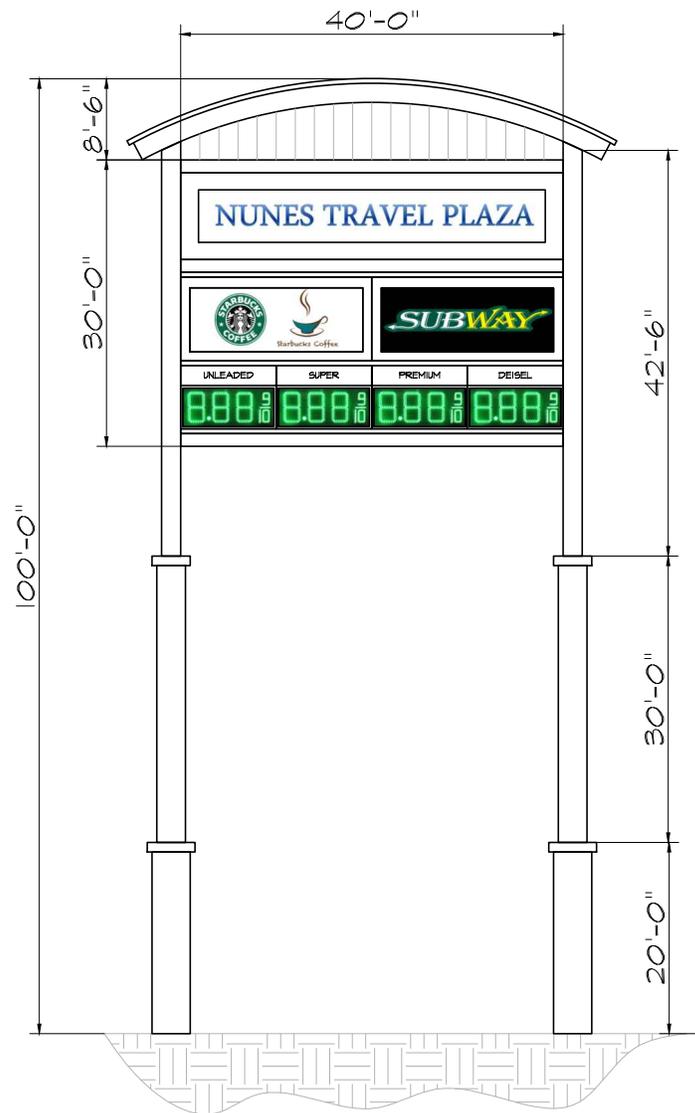
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NUNES TRAVEL PLAZA SIGN

N.T.S.

A



NUNES TRAVEL PLAZA SIGN

N.T.S.

B