



December 6, 2012

MEMO TO: Stanislaus County Planning Commission

FROM: Department of Planning and Community Development

SUBJECT: TIME EXTENSION FOR REZONE APPLICATION NO. 2007-01 - SANTA FE CROSSING

PROJECT DESCRIPTION

This is a request to amend the Development Schedule for Planned Development No. 313 (P-D – [313]) to allow for a five-year time extension. (See Attachment 1.) P-D (313) was approved January 8, 2008, to allow for development of the Santa Fe Crossing commercial project consisting of a 19,250 square foot commercial building, 435 mini storage units, 52 RV storage spaces, a gas station with a 5,065 square foot mini market, and a drive through coffee shop. (See Attachment 7.) The approved Development Schedule allowed for site development to take place over three (3) phases of construction and consisted of the following:

Phase I

- *Construction of 435 mini-storage unit business on approximately 4.62± acres.*
- *Allowance of shipping container business to remain until Phase II development.*

Phase II

- *Convert previously approved truck repair facility into R.V. sales & service business.*
- *Convert an area previously used for shipping container storage into R.V. & boat storage.*

Phase III

- *Construction of gas station and 5,065± square foot mini market & drive-thru coffee shop.*
- *Construction of a 19,250± square foot commercial building with limited commercial uses.*

The Board of Supervisors approval specified that the Development Schedule be limited to five years for all phases, with the ability to come back before the Planning Commission to request an extension of the approved Development Schedule. Since the 2008 approval, the 11.44± acre site has remained in the same condition as it was prior to the applicant's 2007/2008 rezone request and still contains the same uses/buildings, as were present with previous development. The project site is located at 4306 Santa Fe Avenue, at the northwest corner of Geer Road and Santa Fe Avenue, southeast of the City of Hughson. This site is located within the LAFCO adopted Sphere of Influence (SOI) for the City of Hughson. If approved as requested, the new development schedule would give the applicant until January 8, 2018, to start construction of all development phases of the project.

DISCUSSION

The requested time extension was made through a letter from the applicant's representative, Hawkins & Associates Engineering, received on March 15, 2012. (See Attachment 1.) Uncertainties in the nation's economy and the overall tough economic climate (the U.S. recession) are cited as the reasons for the request. The applicant has also prepared a short narrative and has provided copies of the on & off site improvement plans approved by the County's Public Works Department as well as copies of the Street Improvement Agreement and the Irrevocable Offer of Dedication for road right-of way and utility easement, all of which were required as part of the original approval. (See Attachments 2-6.)

When the project was presented to the Planning Commission in 2007, minor edits were proposed by Staff on various Development Standards to clarify the timing in which they would need to be implemented. The Planning Commission recommended approval of the project to the Board of Supervisors with the Development Schedule time frame shortened from seven (7) years to five (5) years. The Board of Supervisors approved the rezone request, subject to the amended Development Standards and modified Development Schedule as recommended by the Planning Commission.

Section 21.40.090(B) of the Stanislaus County Zoning Ordinance speaks to the allowance of modifying a Planned Development's Development Schedule. This section states:

Upon request by the property owner and for good cause shown, the planning commission may extend the time limits of the development schedule; provided, that any request for an extension of time limits shall be on file in the office of the director of planning prior to the expiration of any time limit required by the development schedule.

The project time extension is a discretionary act in that it does grant approval of continued life for the Planned Development which otherwise would expire. In reviewing requests for a time extension, Staff sends a referral to various interested and responsible agencies, as is done on any project. A large reason why Development Schedules (for Planned Developments) do not last indefinitely, is that the need to recognize the passage of time may have caused agencies to look at the project differently.

In reviewing this request, it was circulated to various agencies including those agencies with Development Standards placed on the approved P-D (313). (See Attachment 8.) With the exception to a response received from the City of Hughson, referral responses identifying no comment/no objection to the subject request have been received from various agencies/departments and no additional Development Standards have been requested.

CITY OF HUGHSON – BACKGROUND & CONCERNS

The original rezone request received by the County in 2007 was sent to the City of Hughson (as is standard practice for projects located within a city's SOI) for review and comments through the CEQA Early Consultation process. On February 7, 2007, County Planning Staff received a response from the City which stated numerous concerns with the project. (See Attachment 11.) On March 7, 2007, Staff attended a meeting with the project applicant, the applicant's engineer, and City of Hughson's Planning Director. During this meeting, it was agreed that the applicant would revise the project to address some of the concerns which the City had raised. On May 25, 2007, Staff received a letter from the City of Hughson stating that the applicant and the City had met and resolved the issues raised in the previous letter, and withdrawing their comments. (See

Attachment 12.) On August 21, 2007, the applicant submitted a revised project and moved forward with the processing of the application by preparing the project's CEQA Initial Study document. As is required by CEQA, the Initial Study was sent to all interested/reviewing agencies for comments, including the City of Hughson. The 30-day comment period started on September 5, 2007, and ran through October 10, 2007. In a letter dated October 29, 2007, the City of Hughson stated that the proposed project was considered to be located in a "gateway" area to the City and the development was consistent with the City's "Service Commercial" General Plan designation. (See Attachment 13.) There was no mention that the City had any concerns with any aspect of the proposal other than the need for quality aesthetics as the project site is within a "gateway" area.

The project was presented to the Planning Commission on December 6, 2007. Staff recommended the Commission shorten the applicant's proposed seven (7) year time-frame to five (5) years, with the ability for the applicant to request an extension, if needed. The Commission unanimously voted (8-0 [Souza/Mataka]) to recommend the Board of Supervisors approve this request. On January 8, 2008, the Board of Supervisors approved the Rezone request and, as recommended by the Planning Commission, shortened the Development Schedule to five (5) years. After Board approval, the City of Hughson contacted Staff to voice their displeasure with the project's approval.

In response to this time extension request, the City of Hughson has provided two comment letters to voice their opposition. (*See Attachments 9 & 10.*) In their letters, the City lays out several items which they believe prove that the applicant should not be granted the request. They have stated there are "environmental concerns" related to Green House Gasses (GHG), traffic, and water quality. With the exception of GHG's, the comments on traffic and water were taken into consideration during the original project review and were incorporated into the Development Standards so that any perceived "environmental impacts" are considered to be at a less than significant level.

With regards to the "environmental concerns" which the City of Hughson noted in their letter, the project was originally approved prior to the approval of the state law requiring GHG to be analyzed in the project's CEQA document. In this case, the Initial Study – Negative Declaration prepared in 2007 was not subject to the GHG CEQA requirements. The GHG CEQA requirement originated from Senate Bill 97 (*SB 97 – Dutton*) which was passed in 2007 and, as of January 1, 2010, required GHG analysis to be implemented on all project related environmental documents.

Since the City of Hughson raised GHG concerns which could be considered to be CEQA-related, Staff undertook a review of these comments under the standards for subsequent or supplemental CEQA review and determined no such supplemental review was required.

Under California law, a request for time extension of a project that previously was subject to CEQA review may be exempt from CEQA or may be evaluated under the standard, triggering subsequent or supplemental CEQA review (under Public Resources Code Section 21166 and CEQA Guidelines Section 15162). The City suggested that additional CEQA review would be needed to study "Greenhouse Gases" (GHG) related to the project; however, in order to trigger additional review when the project was previously approved with a Negative Declaration, a significant environmental effect must be shown. A summary provided by the applicant of why the threshold for further CEQA review has not been met is listed below:

- A request for time extension obviously would not, on its own, trigger the need for additional CEQA review of GHG issues.
- Any effects from GHG emissions could have been raised by the City during the initial processing of this project.
- The underlying project is predominately composed of mini-storage and RV storage which are low traffic generators and thus not large generators of GHG.
- The balance of the project is a combination fuel station/mini-mart/restaurant that must rely on existing levels of drive-by traffic to be feasible since it has no growth-generating aspects of its own; therefore, the vast majority of the traffic trips for this phase of the project currently exist and would not be solely generated as a result of this project.
- The project has offered an irrevocable dedication to the County's Department of Public Works most of which will be used to construct a traffic signal at the Santa Fe Avenue and Geer Road intersection. Currently, this is a very congested four-way stop and signalizing this intersection will lower GHG emissions by reducing the time cars spend idling, waiting for their turn to proceed. While not a mitigation measure for the project, the project has, in fact, helped significantly to reduce GHG emissions in the area by providing this dedication.
- This project is similar in size and scope to other projects that the County has considered "*de minimus*" for the purpose of GHG emissions since such projects do not rise to the size and scope where the County requires a GHG analysis.

While staff does not necessarily agree that a new project submitted today of similar size and scope would not require a GHG analysis, staff does concur that as a time extension, and based on the nature of the approved use, there is no significant environmental effect triggering the need for additional environmental review.

The City also pointed out numerous Development Standards which they feel have not been complied with by the applicant. After submitting their concerns, the City of Hughson sent an additional letter to clarify some factual errors contained in their original letter. (*See Attachment 10.*) Many of the errors in their letter involved road dedication requirements and improvement plans, which the City stated, had not yet occurred. Upon further review, it was determined that the concerns with non-compliance on Development Standards are not entirely true and, in fact, have been in progress by the applicant since approval in 2008. The applicant has provided a copy of approved improvement plans as well as copies of the road dedication documents. A short summary of work completed to date has also been provided. (*See Attachment 2.*)

In the most recent City of Hughson letter, the City wrote that, to date, 51 out of 57 Development Standards have not been complied with. (*See Attachment 10.*) Staff's review of the Development Standards revealed that 52 out of 57 conditions are meant to be required at either the time at which a building permit is applied for and approved or at the time when physical site preparation is occurring. Neither of these two instances has occurred and compliance with all related Development Standards is premature at this stage. According to the applicant's request for a time extension, compliance with specific Development Standards, which were required at the pre-construction phase, has been met. If the requested time extension is granted, the applicant or property owner/developer will continue to be responsible for fulfilling all approved Development Standards for P-D (313).

Policy Twenty-Four of the Land Use Element of the County's General Plan specifies that development, other than agricultural uses and churches, which requires discretionary approval and is within LAFCO's SOI of cities, shall not be approved unless first approved by the city within whose SOI it lies. If the City of Hughson had objected to the original approval of P-D

(313) prior to project approval by the Board of Supervisors in 2008, it is likely that the County would not have approved the project. Attachment 14 provides Goal Five/Policy Twenty-Four and the SOI Policy from the Land Use Element of the General Plan. Essentially, the County has already approved the development of the project site; however, in question is the applicability of the SOI policy to a time extension.

On this request, the City of Hughson has expressed concerns over several policies, goals, and implementation measures with the County's General Plan as well as a City/County Agreement, dated June 12, 2006. Even though the City originally said the project was considered to be consistent with their General Plan, this current action is a new request/application and the City, in reviewing the new request, has stated that, *"This is not a good project from a planning standpoint, or environmental standpoint. This is a leapfrog development that will have adverse effects on local businesses and our public water and street systems."*

Staff is not aware of a similar situation in which a city has raised concerns regarding a time extension for a project which was located within the city's SOI and subject to the County's General Plan SOI policies at the time of approval. Because the County's SOI policies do not distinguish time extensions from being considered development and, approval of a time extension grants continued life for the Planned Development which otherwise would expire, denial of the proposed time extension would be appropriate. In order to approve the time extension, the Planning Commission will need to find that the request is both consistent with the County General Plan (as a whole) and that "good cause" has been shown by the applicant for the time extension request.

PLANNING COMMISSION OPTIONS

If the Planning Commission decides to approve this request, Staff recommends that the following findings must be made:

1. Find that the time extension request is consistent with the County's General Plan; and
2. Find that the applicant has shown good cause for being granted a time extension.

If the Planning Commission decides to deny this request, Staff recommends that the following findings must be made:

1. Find that the findings required for approval cannot be made, and deny the time extension request for Rezone Application No. 2007-01 – Santa Fe Crossing

The Planning Commission may also decide to approve this request with a lesser number of years than the applicant is requesting. If this is the course of action the Commission wishes to take, the same findings as listed above for the approval will have to be made.

Contact Person: Joshua Mann, Associate Planner, (209) 525-6330

Attachments:

Attachment 1 - Applicants' Time Extension Request received March 15, 2012
Attachment 2 - Applicants' Time Extension Summary of Work, dated October 15, 2012
Attachment 3 - On-Site Improvement Plans, approved by Public Works on March 13, 2008

- Attachment 4 - Off-Site Improvement Plans, approved by Public Works on May 10, 2011
- Attachment 5 - Public Works - Street Improvement Agreement, recorded May 23, 2011
- Attachment 6 - Irrevocable Offer of Dedication – Road & Public Utility Easement, recorded May 23, 2011
- Attachment 7 - Board of Supervisors (BOS) Report for Rezone Application No. 2007-01 – Santa Fe Crossing dated January 8, 2008, including PC Staff Report & PC Minutes (Attachments 1 & 2 of BOS Report)
- Attachment 8 - Time Extension CEQA Early Consultation Referral - Distribution List
- Attachment 9 - City of Hughson Letter dated April 24, 2012
- Attachment 10 - City of Hughson Letter dated November 19, 2012
- Attachment 11 - Rezone 2007-01 - City of Hughson Letter received February 7, 2007
- Attachment 12 - Rezone 2007-01 - City of Hughson Letter dated May 24, 2007
- Attachment 13 - Rezone 2007-01 - City of Hughson Letter dated October 29, 2007
- Attachment 14 - Stanislaus County General Plan – Chapter 1, Land Use Element – Goal 5, Policy 24 & the Sphere of Influence Policy



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March 13, 2012

Ms. Angela Freitas
Interim Planning Director
Stanislaus County Planning
1010 Tenth Street, 3rd Floor
Modesto, CA 95354

Re: Santa Fe Crossing – Rezone
Application Number: 2007-01

Dear Ms. Freitas,

The re-zone application for Santa Fe Crossing was approved by the Board of Supervisors on January 8, 2008, with a five year development schedule, which will expire January 8, 2013. As we all know, the economy has been in a major recession and as far as development it is as if this last five years didn't happen. As for this project specifically, significant investments have been made, in that improvement for both on-site and off-site construction have been prepared and approved, but no construction has occurred. Therefore, I am requesting a five year extension to the development schedule, to January 8, 2018.

Enclosed, please find our processing fee of \$523.00. If you need additional information or have any questions, please do not hesitate to call.

Sincerely,

Rodrick H. Hawkins, PE
President

cc: Mr. Martin Ruddy
Mr. Mike Ruddy, Jr.



SANTA FE CROSSING COMMERCIAL DEVELOPMENT

PHASE ONE

Phase One development, as shown on the development exhibit, will include 537 mini-storage units covering 4.62 acres in the northeast portion of the site. There is an existing structure in the northwest corner currently housing tire sales and diesel truck repair business. We expect that use to continue with Phase 1 development.

Also located on-site is an existing non-conforming use, repair and sales of bulk storage containers. The location of the container units will be relocated to the west-center portion of the site away from Santa Fe Avenue. Approval is being requested for a use permit for the container storage use with Phase One development. The existing uses are short term and will be replaced with Phase Two development.

Phase One development will include construction of driveway access from both Santa Fe Avenue and Geer Road with signs at each point of entry. Four parking spaces will be included with the min-storage facility and 11 parking spaces will be provided at the existing tire and repair building. Each business will include the required handy-cap parking.

Roadway dedication to 65 feet from centerline at Santa Fe Avenue, and 67.50 feet from centerline at Geer Road will be made along the entire frontage of the site. A 40 foot radius return would also be dedicated; all with Phase one development. Roadway improvements will be constructed with each phase as shown.

Sanitary sewer will be by on-site treatment and disposal in conformance with County Standards. Water will be provided by on-site well and provide volumes as required for the proposed use, fire flows and planting. Stubs will be provided for future connection to municipal facilities as they become available.

Mini storage units will be constructed with a fire sprinkler system sized in accordance with the County Fire Prevention Bureau and conform to applicable codes and regulations.

Construction of the mini-storage facility is expected to begin with approval by the County. Completion of Phase One development is expected within 1 to 5 years.

PHASE TWO

Phase Two development will convert the tire and truck repair area to recreational vehicle sales, service and repair and include RV, boat and trailer storage. The area housing the bulk container sales and repair will likewise be converted to RV storage or mini-storage units.

Completion of Phase Two development is expected within 2 to 7 years.

PHASE THREE

Phase three includes a proposed mini-mart, coffee shop and fueling station at the southerly corner of the project. Fifteen parking spaces including handy-cap are proposed. An additional driveway from Santa Fe Avenue will be constructed with this phase.

The northerly portion of the Phase Three site is expect to develop as a carwash and auto shop, although we would like to reserve the option for a selected group of alternative uses listed with the site plan. Sanitary sewer and water will be provided by on site facilities as described in Phase One.

Roadway construction, including an additional driveway at Santa Fe Avenue will be completed with this phase.

Completion of Phase Three development is expected within 3 to 7 years.

OFF-SITE DEVELOPMENT

Off-site curb, gutter and sidewalk design and road right-of-way will be in accordance with the County master plan for roadway development standards. Storm drainage will be by horizontal infiltration and storage facilities.

NOTE:

This development plan is proposed based upon extensive contacts with County planning staff, public works, and fire district, and a number of contacts with City of Hughson planning staff and engineering.



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Memorandum

To: Joshua Mann, Stanislaus County Planning Department

From: Rod Hawkins, President, R.C.E. 50188

Date: October 15, 2012

Regarding: Ruddy Enterprises Santa Fe Avenue and Geer Road Re-zoning

In February 2006, Mr. Martin Ruddy and Mr. Mike Ruddy engaged my firm with the task of re-zoning the subject property. Over the course of about ten months, we met with Stanislaus County Planning and Public Works staff to develop the final site plan and provide information required for the Planned Development Application.

The application was submitted in December 2006 and through the following year we continued to work with staff to address various issues that were brought up and the application was ultimately approved on January 8, 2008. It should be noted that during the application process we requested a development schedule of at least seven years. We were told at the Planning Commission Hearing that the County typically does not allow more than a five year schedule but that we could be granted a time extension if necessary.

After the project was approved, my firm developed improvement plans for the Phase One Mini Storage. These plans were review by Stanislaus County and approved in April 2010. Also, at the same time, we worked with Public Works to develop the off-site improvement plans. This also coincided with the Public Works Department's development of plans for the modification of the Santa Fe Avenue and Geer Road intersection. Since it appeared that the County's project would proceed before our development, my client entered into an agreement with the County to dedicate the right-of-way required for the County to develop Geer Road and Santa Fe Avenue to their ultimate widths. These plans and agreements were made in May 2011.

It was during this time that the entire U.S. economy was hit with the "Great Recession" Due to this nearly catastrophic economic downturn this development, and many others, have been put on hold.

Now, as we are beginning to see hints of an economic comeback, this project is due to expire. It seems only fair, only appropriate, that this project be granted a five year extension of its development schedule.

ON-SITE IMPROVEMENT PLANS
FOR
SANTA FE CROSSING
PHASE 1
MINI STORAGE
STANISLAUS COUNTY, CALIFORNIA

SPECIFICATIONS

GENERAL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANISLAUS COUNTY DEPARTMENT OF PUBLIC WORKS 2007 IMPROVEMENT STANDARDS AND ALL OTHER CODES OR REGULATIONS IN FORCE BY APPLICABLE GOVERNING AGENCIES.
- BENCHMARK: A 2" IRON PIPE LOCATED AT THE CENTERLINE INTERSECTION OF GEER RD. AND SANTA FE AVENUE. ELEVATION = 124.15' - NAV88
- WHERE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS, IT IS UNDERSTOOD THAT ONLY FIRST QUALITY WORKMANSHIP AND MATERIALS ARE TO BE USED.
- THE CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING CONSTRUCTION, INCLUDING JOB SITE SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO WORKING HOURS. THE CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD HAWKINS & ASSOCIATES ENGINEERING, INC. HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH WORK PERFORMED ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF HAWKINS & ASSOCIATES ENGINEERING, INC.
- THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY AND ARE BASED UPON INFORMATION PROVIDED BY UTILITY COMPANIES AND BY MEASUREMENT OF SURFACE FEATURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND FACILITIES AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH OCCUR DUE TO FAILURE TO LOCATE AND PRESERVE SUCH UTILITIES.
- CAUTION: CALL UNDERGROUND SERVICE ALERT (USA) BEFORE YOU DIG; PRIOR TO BORES, GRADING, EXCAVATION, DRILLING, TRENCHING, SETTING POSTS, PLANTING TREES, ETC. USA WILL PROVIDE INFORMATION OR OR LOCATE AND MARK UNDERGROUND UTILITIES. CALL USA, TOLL FREE AT 1 (800) 227-2200.
- CONTRACTOR SHALL LOCATE AND PRESERVE ALL FACILITIES INCLUDING GAS, WATER, IRRIGATION, SEWER, POWER, STREET LIGHTS, TELEPHONE, AND OTHERS WHICH MAY BE IN THE AREA OF CONSTRUCTION. UTILITY COMPANIES SHALL BE NOTIFIED PRIOR TO COMMENCEMENT OF WORK.
- ALL CASTINGS AND COVERS SHALL BE ADJUSTED TO FINISH GRADE BY THE PAVING CONTRACTOR AFTER STREET IMPROVEMENTS ARE COMPLETE.
- AN ENCROACHMENT PERMIT SHALL BE OBTAINED FROM THE COUNTY OF STANISLAUS BEFORE BEGINNING WORK IN THE PUBLIC RIGHT-OF-WAY.
- STAKING LINES AND GRADES: ALL STATIONS AND DIMENSIONS ARE GIVEN OR WILL BE MADE IN A HORIZONTAL PLANE. GRADES ARE REFERENCED FROM THE TOP OF STAKES OR NAILS, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL STAKES AND CONTROL POINTS PROVIDED FOR PROJECT CONSTRUCTION. EXPENSES INCURRED FOR REPLACEMENT OF STAKES OR CONTROL POINTS SHALL BE BORN BY THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE, AT HIS EXPENSE, APPROPRIATE DUST CONTROL AS REQUIRED FOR THE PREVENTION AND/OR ALLEVIATION OF DUST NUISANCE DURING THE COURSE OF PROJECT CONSTRUCTION.
- THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL SAFETY REGULATIONS PERTAINING TO HIS OPERATIONS. HE SHALL PROVIDE SIGNS, BARRICADES, FLAG MEN OR OTHER DEVICES NECESSARY FOR PUBLIC SAFETY. THE CONTRACTOR'S ATTENTION IS CALLED TO THE REQUIREMENTS OF TITLE 8, OF THE CALIFORNIA ADMINISTRATIVE CODE, SUBCHAPTER 4, ARTICLE 6, "EXCAVATIONS, TRENCHES, EARTHWORK".
- THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 9, SECTION 6705, 6706 AND 6707 OF THE STATE LABOR CODE. THE CONTRACTOR SHALL SUBMIT, FOR APPROVAL, A DETAILED PLAN SHOWING DESIGN OF ALL SHORING, BRACING, SLOPE CUTS AND OTHER PROVISIONS FOR WORKER PROTECTION IN AREAS OF EXCAVATION EXCEEDING FIVE FEET IN DEPTH. IF SUCH PLAN VARIES FROM SHORING SYSTEM STANDARDS, THE PLANS SHALL BE PREPARED BY A REGISTERED CIVIL OR STRUCTURAL ENGINEER.
- WARNING: HAWKINS & ASSOCIATES ENGINEERING, INC. WILL NOT BE RESPONSIBLE OR LIABLE FOR UNAUTHORIZED USES OR CHANGES TO THESE PLANS AND SPECIFICATIONS. ONLY SIGNED AND APPROVED HARD COPIES OF THESE PLANS SHALL BE USED FOR CONSTRUCTION. ANY CHANGES TO THESE PLANS MUST BE IN WRITING AND APPROVED BY HAWKINS & ASSOCIATES ENGINEERING, INC.

- IT IS INTENDED THAT HAWKINS & ASSOCIATES ENGINEERING, INC. WILL PROVIDE THE CONSTRUCTION STAKING FOR THIS PROJECT. HOWEVER, SHOULD ANOTHER ENGINEERING AND/OR SURVEYING FIRM BE EMPLOYED TO USE THESE PLANS FOR THE PURPOSE OF PROVIDING CONSTRUCTION STAKING, NOTICE IS HEREBY GIVEN THAT HAWKINS & ASSOCIATES ENGINEERING, INC. WILL NOT ASSUME ANY RESPONSIBILITY FOR ERRORS OR OMISSIONS, IF ANY, WHICH MAY OCCUR, AND WHICH COULD HAVE BEEN AVOIDED, CORRECTED, OR OTHERWISE MITIGATED HAD HAWKINS & ASSOCIATES ENGINEERING, INC. PERFORMED THE STAKING WORK.

GRADING NOTES

- AFTER CLEARING AND DISKING, THE EXPOSED SOIL SURFACE SHALL BE SCARIFIED AND RECOMPACTED TO A MINIMUM DEPTH OF 6". THE RECOMMENDED DEGREE OF RECOMPACTION IS 90% IN BUILDING AREAS, AND 95% IN AREAS TO BE COVERED WITH ASPHALT PAVING. THESE PERCENTAGES REFER TO MAXIMUM WET DENSITY AS OBTAINED BY THE CAL. TRANS. TEST PROCEDURE NO. 216.
- THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF THE GRADING AND LANDSCAPE CONTRACTORS WITH RESPECT TO FINISH GRADING IN PLANTING AREAS. THE GRADING CONTRACTOR SHALL STOCKPILE APPROPRIATE YARDAGE FROM SITE PREPARATION FOR THIS USE. THE EXACT AMOUNT SHALL BE DETERMINED BY THE LANDSCAPE CONTRACTOR. THE DIRT STOCKPILED SHALL BE FREE FROM GRASS, WEEDS, AND OTHER DEBRIS. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL PLACEMENT AND GRADING IN MOUND AREAS.
- COMPACTION TESTS: CONTRACTOR TO PROVIDE COMPACTION TESTING AS REQUIRED BY STANISLAUS COUNTY. AT THE CONTRACTOR'S EXPENSE. AS A MINIMUM, TESTS SHALL BE PERFORMED AT 200 FOOT INTERVALS. ALL TESTING MUST BE PERFORMED BY A LICENSED TESTING FIRM. ALL TEST RESULTS SHALL BE PROVIDED TO THE ENGINEER FOR REVIEW.
- THIS NOTE IS PROVIDED ONLY AS A CONVENIENCE TO THE CONTRACTOR TO AID IN DETERMINING QUANTITIES OF DIRT TO BE MOVED, CUT AND FILL QUANTITIES SHOWN INDICATE THEORETICAL YARDAGE FIGURES.

TOTAL CUT REQUIRED	1893 CU. YDS.
TOTAL FILL REQUIRED (25% COMPACTION INCLUDED)	1006 CU. YDS.
AMOUNT OF EXPORT	887 CU. YDS.

CONCRETE PAVING

- CONCRETE: PORTLAND CEMENT CONCRETE PAVING SHALL BE CLASS B AS DEFINED IN THE CALTRANS STANDARD SPECIFICATIONS, WITH A MIN. 28 DAY COMPRESSIVE STRENGTH OF 2,500 POUNDS PER SQUARE INCH, AND A MAXIMUM SLUMP OF 3 INCHES. CONCRETE SHALL CONSIST OF A 5 SACK MIXTURE OF PORTLAND CEMENT, WATER, AND AGGREGATE. PORTLAND CEMENT SHALL BE TYPE II, AGGREGATES SHALL BE WASHED BEFORE USE AND BE FREE FROM ANY FOREIGN MATTER.
- THE AGGREGATE SHALL BE GRADED TO PROVIDE A PLASTIC, WORKABLE MIXTURE OF MAXIMUM DENSITY AND AN AGGREGATE OF 3/4 INCHES. THE WATER SHALL BE POTABLE AND NO ADMIXTURES SHALL BE USED WITHOUT APPROVAL OF THE ENGINEER. THE CEMENT, WATER AND AGGREGATE SHALL BE COMBINED AT THE BATCH PLANT AND SHALL BE THOROUGHLY MIXED. NO WATER SHALL BE ADDED TO THE MIXTURE AFTER LEAVING THE BATCH PLANT, WITHOUT APPROVAL BY THE ENGINEER. ALL CONCRETE SHALL BE PLACED WITHIN 90 MINUTES OF THE INTRODUCTION OF WATER TO THE CEMENT. THE TEMPERATURE OF THE CONCRETE SHALL BE NOT LESS THAN 50° F., NOR MORE THAN 90° F.
- THE CONCRETE SHALL BE CONSOLIDATED BY VIBRATING. CONCRETE THAT HAS ROCK POCKETS OR HONEY COMBING AFTER CURING SHALL BE REMOVED AND REPLACED.
- CONCRETE SHALL BE CURED IN ACCORDANCE WITH SECTION 90-7.018 OF THE STANDARD SPECIFICATIONS.
- THE 6" THICK CONCRETE PAVEMENT SHALL BE REINFORCED WITH WELDED WIRE FABRIC (6x6 W. 4x11 W. 4) AS NOTED ON THE PLANS.
- CRACK CONTROL JOINTS SHALL BE PLACED AT 20 FOOT MAXIMUM INTERVALS AND SHALL PENETRATE THE CONCRETE SLAB A MINIMUM OF 1/4 OF THE SLAB THICKNESS. SEE THE CRACK CONTROL PLAN.

WATER SYSTEM SPECIFICATIONS

- ALL PVC WATERLINES SHOWN SHALL BE SCHEDULE 40 PVC CONFORMING TO THE LATEST EDITION OF THE UNIFORM PLUMBING CODE AND THE REQUIREMENTS OF THE COUNTY OF STANISLAUS.
- ALL WATER MAINS 6" AND LARGER SHALL BE PVC CLASS 150, CONFORMING TO AWWA C-900.
- CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING WATERLINES BEFORE BEGINNING CONSTRUCTION.
- ALL WATERLINES TO BE INSTALLED WITH 36" MINIMUM COVER FROM FINISH GRADE.
- WATER SERVICES ARE TO BE INSTALLED AS SHOWN ON PLAN, AND ARE TO BE EXTENDED TO WITHIN 5' OF STRUCTURES AND CAPPED.
- ALL WATER LINES SHALL BE CHLORINATED IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE STATE OF CALIFORNIA.

SEWER SPECIFICATIONS

- PIPE SHALL BE SD35 PVC INSTALLED IN CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- SANITARY SEWER LATERALS TO BE INSTALLED AT LOCATIONS AS SHOWN ON PLANS. ALL LATERALS SHALL EXTEND TO WITHIN 5 FEET OF STRUCTURES AND PLUGGED.
- AFTER PIPE HAS BEEN PROPERLY INSTALLED, THE INITIAL BACKFILL SHALL CONSIST OF SELECT FINE SOIL FROM THE EXCAVATION. IT IS TO BE HAND-TAMPED IN 6" THICK LAYERS EXTENDING TO 12" OVER THE TOP OF THE PIPE. THE REMAINING BACKFILL SHALL BE PLACED IN LAYERS AND COMPACTED TO A MINIMUM RELATIVE DENSITY OF 95%.
- THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE STATE LABOR CODE, CHAPTER 9, SECTIONS 6705, 6706, AND 6707.

STORM DRAIN SPECIFICATIONS

- REINFORCED CONCRETE PIPE (R.C.P.) SHOWN ON THE PLANS SHALL CONFORM TO SECTIONS 65-1.02, 1.02A, 1.03, 1.06, 1.07, AND 65-1.08 OF THE CURRENT EDITION OF THE STANDARD SPECIFICATIONS OF THE STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION.
- AFTER PIPE HAS BEEN PROPERLY INSTALLED, THE INITIAL BACKFILL SHALL BE SELECT FINE EARTH FROM THE EXCAVATION. IT SHALL BE HAND-TAMPED IN 6" LAYERS TO 12" OVER THE TOP OF THE PIPE. THE FINAL BACKFILL SHALL BE PLACED IN LAYERS AND COMPACTED TO A MINIMUM RELATIVE DENSITY OF 95%.
- ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO THE REQUIREMENTS OF THE STATE OF CALIFORNIA WATER RESOURCES CONTROL BOARD, NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FOR STORMWATER DISCHARGE.

UTILITY NOTES

- UTILITY WORK SHALL BE CONSTRUCTED IN CONFORMANCE WITH ALL STANDARDS, CODES OR REGULATIONS IN FORCE BY THE APPLICABLE GOVERNING AGENCIES.
- TESTING: ALL REQUIRED LABORATORY RETESTING WILL BE PAID FOR BY THE CONTRACTOR.



VICINITY MAP

NO SCALE

OWNER

RUDDY ENTERPRISES, INC.
1115 13TH STREET
MODESTO, CALIF. 95354
PHONE (209) 529-9993
FAX (209) 522-4618

INDEX

- GENERAL SPECIFICATIONS, VICINITY MAP & INDEX
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- EXISTING TOPOGRAPHY AND DEMOLITION PLAN - 2
- SITE PLAN
- GRADING AND DRAINAGE PLAN
- STORM DRAIN & SANITARY SEWER PLAN
- SEPTIC SYSTEM DETAILS
- INFILTRATION TRENCH DETAILS
- FIRE HYDRANT PLAN & SEWER PLAN
- EROSION CONTROL PLAN



WDID NO.: 5S50C350500

APPROVED BY THE STANISLAUS COUNTY
DEPARTMENT OF PUBLIC WORKS.

BY: *John N. Chubb* DATE: 3/13/08

APPROVED BY THE STANISLAUS
COUNTY FIRE PREVENTION
BUREAU (FOR ON-SITE FIRE
HYDRANTS ONLY).

BY: *Ken Brown* DATE: 5/8/08

APPROVED BY THE STANISLAUS
COUNTY DEPARTMENT OF
ENVIRONMENTAL RESOURCES.

BY: *Bella Badal* DATE: 4/16/10

CONSTRUCTION STAKING LIABILITY WAIVER

THESE IMPROVEMENT PLANS HAVE BEEN PREPARED WITH THE INTENT THAT THE FIRM OF HAWKINS & ASSOCIATES ENGINEERING WILL BE PERFORMING THE CONSTRUCTION STAKING FOR THE COMPLETE PROJECT. IF, HOWEVER, ANOTHER ENGINEERING AND/OR SURVEYING FIRM SHOULD BE EMPLOYED TO USE THESE PLANS FOR THE PURPOSE OF CONSTRUCTION STAKING, NOTICE IS HEREBY GIVEN THAT THE FIRM OF HAWKINS & ASSOCIATES ENGINEERING WILL NOT ASSUME ANY RESPONSIBILITY FOR ERRORS OR OMISSIONS, IF ANY, WHICH MIGHT OCCUR, AND WHICH COULD HAVE BEEN AVOIDED, CORRECTED OR MITIGATED IF HAWKINS & ASSOCIATES ENGINEERING HAD PERFORMED THE STAKING WORK.



BEFORE DIGGING CALL USA, TOLL FREE

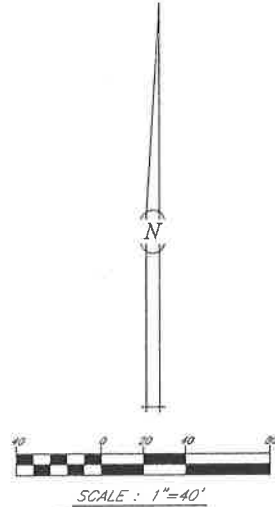
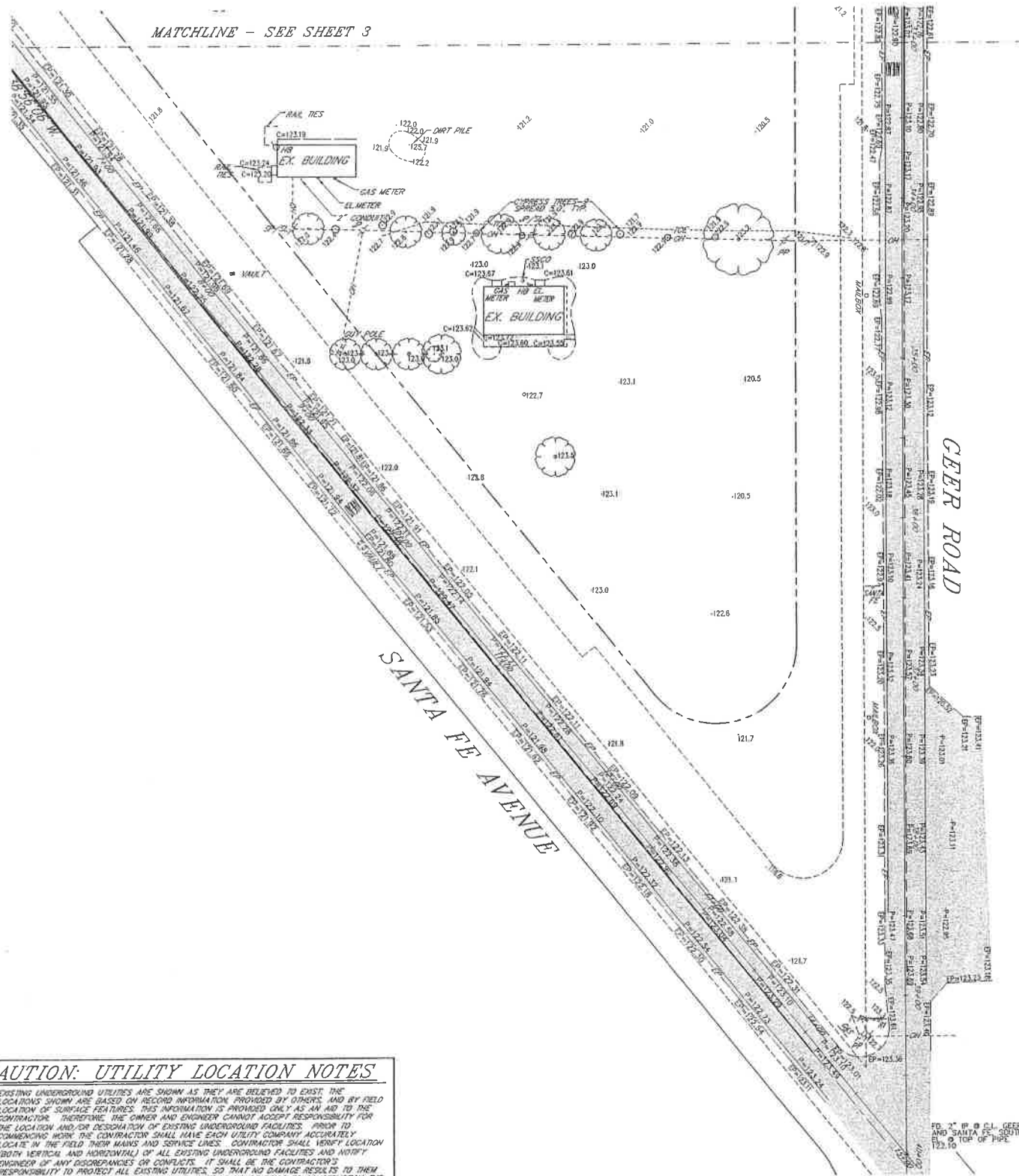
800-227-2200
BEFORE PLANTING TREES, TRENCHING, POST HOLE, EXCAVATING, GRADING, EXCAVATING, BORING, UNLOADING, ETC. CALL UNDERGROUND SERVICE ALERT FOR UNDERGROUND CLEARANCE. THEY WILL PROVIDE INFORMATION OR LOCATE AND MARK UNDERGROUND FACILITIES FOR YOU.

HAWKINS & ASSOCIATES
ENGINEERING
436 MITCHELL RD.
MODESTO, CA 95354
PH: (209) 575 - 4295
FX: (209) 578 - 4295



SHEET

1.
OF
10.
2817



LEGEND

- 100.0 EXISTING GROUND ELEVATION
- C=100.00 EXISTING CONCRETE ELEVATION
- TC=100.00 EXISTING TOP-OF-CURB ELEVATION
- P=100.00 EXISTING PAVEMENT ELEVATION
- EP=100.00 EXISTING EDGE-OF-PAVEMENT ELEVATION
- FL=100.00 EXISTING FLOWLINE ELEVATION
- LP=100.00 EXISTING LIP ELEVATION
- RM=100.00 EXISTING RM ELEVATION
- INV=100.00 EXISTING INVERT ELEVATION
- EXISTING VERTICAL CURBING
- EXISTING CURB & GUTTER
- EXISTING CURB, GUTTER & SIDEWALK
- EXISTING VALLEY GUTTER
- EP EXISTING EDGE-OF-PAVEMENT
- EXISTING AREA OF AC PAVING
- EXISTING AREA OF CONCRETE
- TOP EXISTING TOP OF GRADE BREAK
- TOE EXISTING TOE OF GRADE BREAK
- GLC EXISTING CHAIN LINK FENCE, HEIGHT AS NOTED
- WF EXISTING WOOD FENCE, HEIGHT AS NOTED
- BWF EXISTING BARBED WIRE FENCE, HEIGHT AS NOTED
- EXISTING TREE, SPREAD TO SCALE
- IRR EXISTING IRRIGATION LINE
- IRR MH EXISTING IRRIGATION MANHOLE
- IGV EXISTING IRRIGATION GATE VALVE
- AV EXISTING AIR VENT STAND PIPE
- IRR BOX EXISTING IRRIGATION BOX
- STUMP EXISTING TREE STUMP
- SIGN EXISTING SIGN, AS NOTED
- BOL EXISTING BOLLARD
- W EXISTING WATER LINE
- WV EXISTING WATER VALVE
- WM EXISTING WATER METER
- PH EXISTING FIRE HYDRANT
- HB EXISTING HOSE BIB
- SS EXISTING SANITARY SEWER LINE
- SSMH EXISTING SANITARY SEWER MANHOLE
- CO EXISTING SANITARY SEWER CLEANOUT
- SD EXISTING STORM DRAIN LINE
- SDMH EXISTING STORM DRAIN MANHOLE
- CB EXISTING CATCH BASIN
- DI EXISTING DRAINAGE INLET
- JP EXISTING JOINT POLE
- PP EXISTING POWER POLE
- TP EXISTING TELEPHONE POLE
- SP EXISTING SERVICE POLE
- JPW EXISTING JOINT POLE W/ GUY WIRE
- PPW EXISTING POWER POLE W/ GUY WIRE
- TPW EXISTING TELEPHONE POLE W/ GUY WIRE
- SPW EXISTING SERVICE POLE W/ GUY WIRE
- ELEC EXISTING STREET ELECTROLIER
- SL EXISTING SITE LIGHT
- GAS EXISTING GAS LINE
- GAS EXISTING GAS METER
- EL EXISTING ELECTRICAL LINE
- EL EXISTING ELECTRICAL METER
- VAULT EXISTING VAULT
- OH EXISTING OVERHEAD LINE
- EXISTING STRIPING

CAUTION: UTILITY LOCATION NOTES

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BENCHMARK

BENCHMARK IS TID#47, A BRASS DISK IN THE HEADWALL ON THE SOUTH SIDE OF SERVICE ROAD BETWEEN SANTA FE AVENUE AND GEER ROAD.

ELEVATION = 122.16 CITY OF HUGHSON DATUM

NOTE: +2.66 TO N.A.M.D. 1988 = 124.82

CONSTRUCTION STAKING LIABILITY WAIVER

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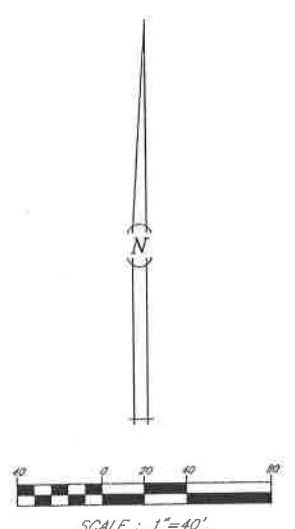
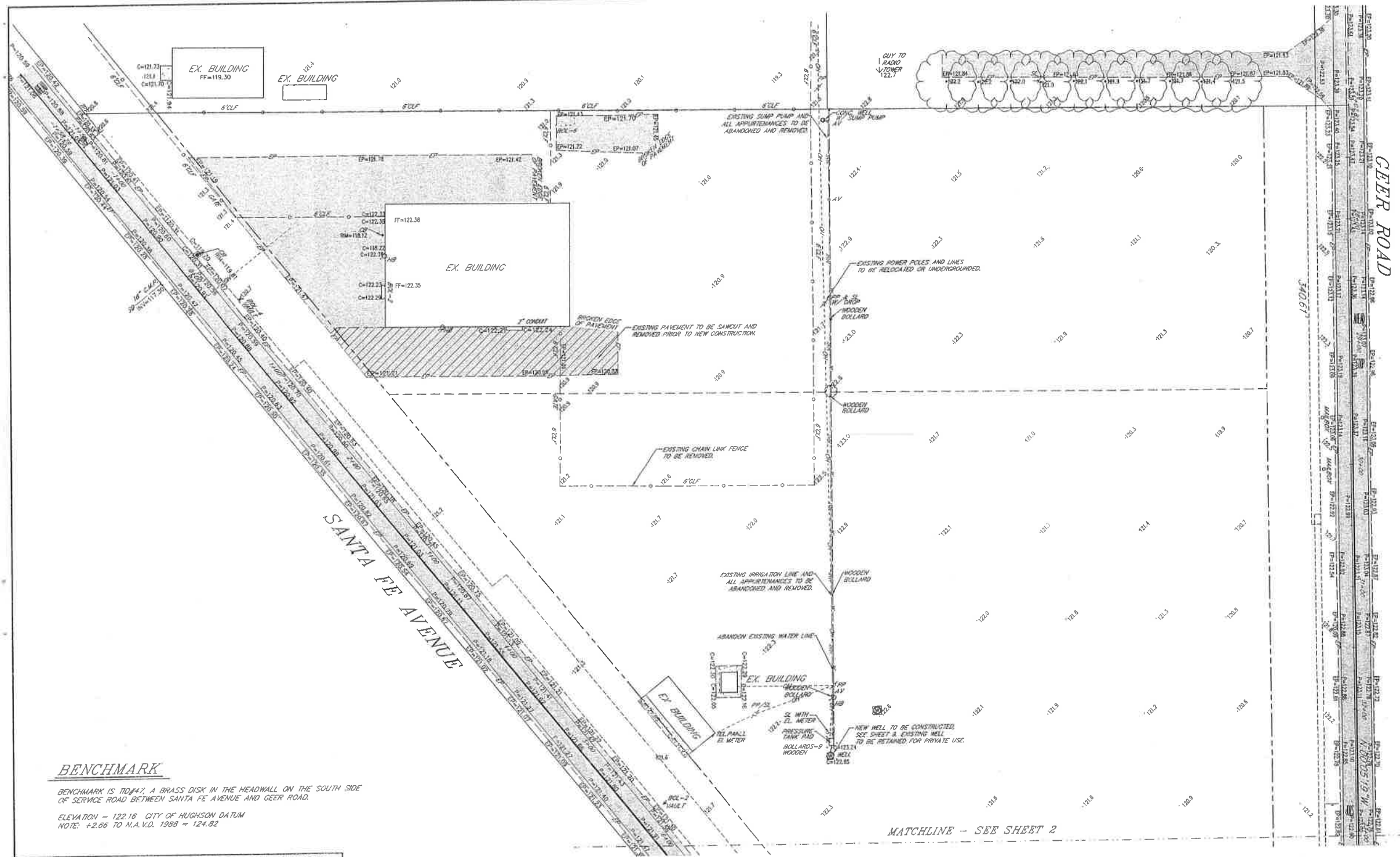
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BY:	DRF	CEL	CHK:	DATE:	11/2007	SCALE:	1" = 40'	JOB #:	2617	FILE:	BASE
RODRICK H. HAWKINS											
CRODIE E. LINDSAY											
PATRICK GARVEY											
RCE 50188											
RCE 3900, L.S. 4709											
RCE 49080											
SYM	DATE	DESCRIPTION OF REVISION	APPROVED								

EXISTING TOPOGRAPHY AND DEMOLITION PLAN
GEER ROAD MINI STORAGE

HAWKINS & ASSOCIATES
ENGINEERING
436 MITCHELL RD.
MODesto, CA 95354
PH: (209) 575 - 4295
FX: (209) 578 - 4295





BENCHMARK

BENCHMARK IS 1044.2, A BRASS DISK IN THE HEADWALL ON THE SOUTH SIDE OF SERVICE ROAD BETWEEN SANTA FE AVENUE AND GEER ROAD.
ELEVATION = 122.16 CITY OF HUGHSON DATUM
NOTE: +2.66 TO N.A.V.D. 1988 = 124.82

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CONSTRUCTION STAKING LIABILITY WAIVER

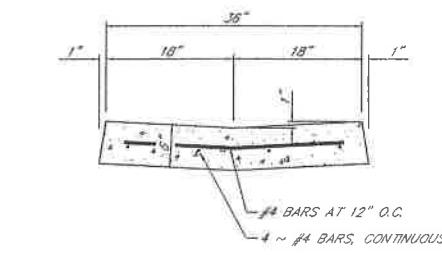
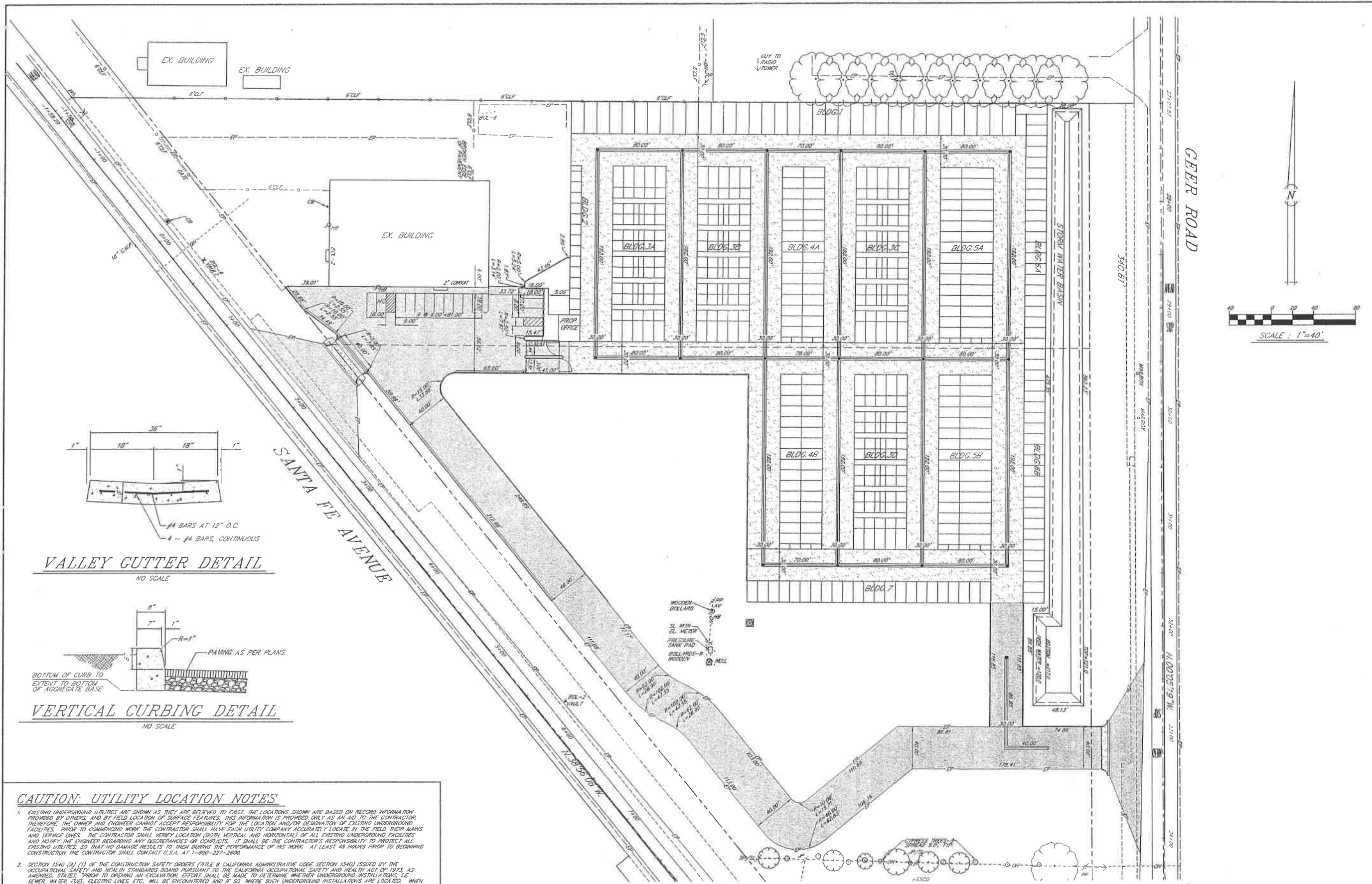
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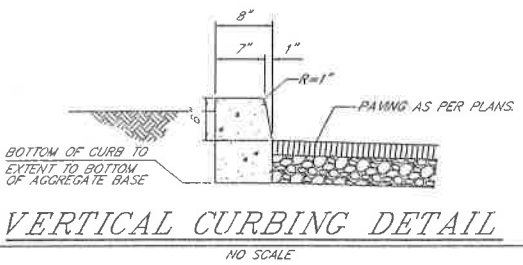
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HAWKINS & ASSOCIATES ENGINEERING 436 MITCHELL RD. MODESTO, CA 95354 PH: (209) 575 - 4295 FX: (209) 578 - 4295		EXISTING TOPOGRAPHY AND DEMOLITION PLAN GEER ROAD MINI STORAGE		BY: DRH CHK: CEL DATE: 11/2007 SCALE: 1" = 40' JOB #: 267 FILE: BASE		RODRICK H. HAWKINS CRODIE E. LINDSAY PATRICK GARVEY R.C.E. 50188 R.C.E. 39000 L.S. 4709 R.C.E. 49080		SYN. DATE DESCRIPTION OF REVISION APPRO	
		SHEET 3 OF 10							



VALLEY GUTTER DETAIL
NO SCALE



VERTICAL CURBING DETAIL
NO SCALE

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CONSTRUCTION STAKING LIABILITY WAIVER

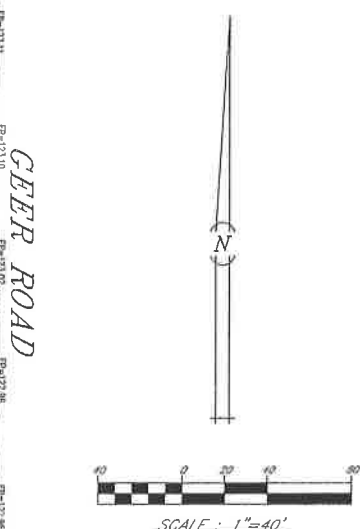
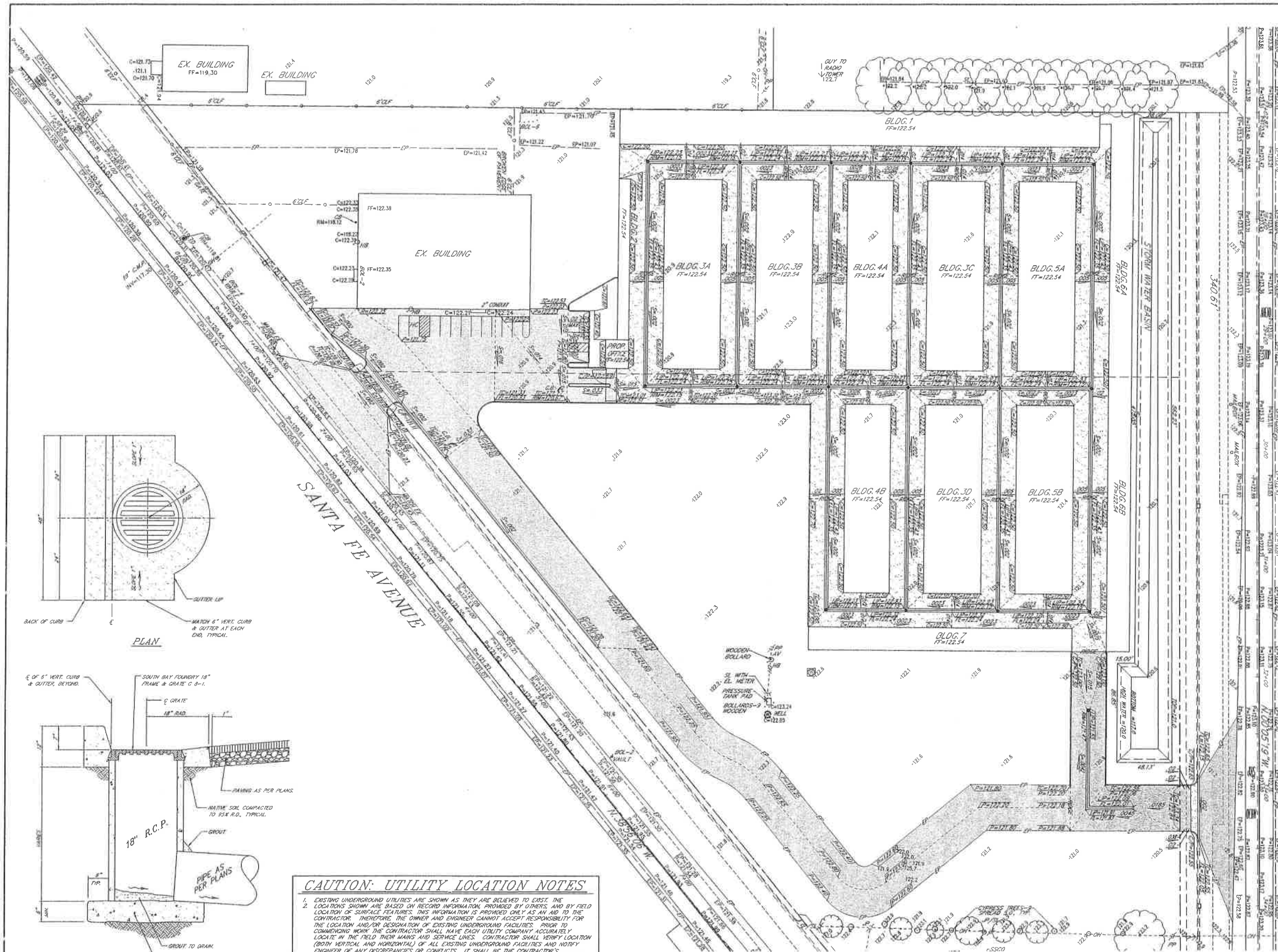
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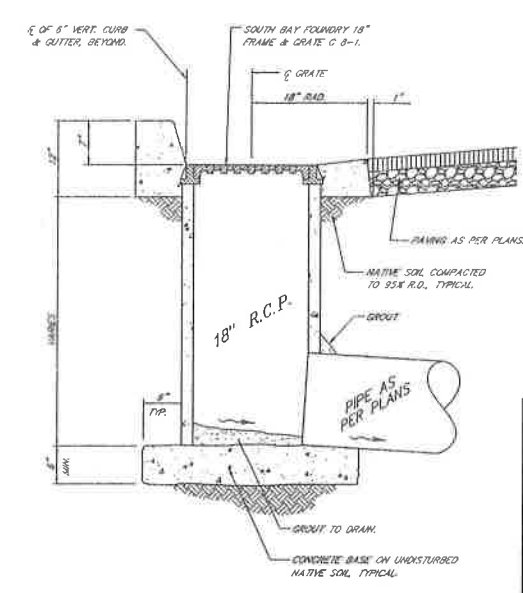
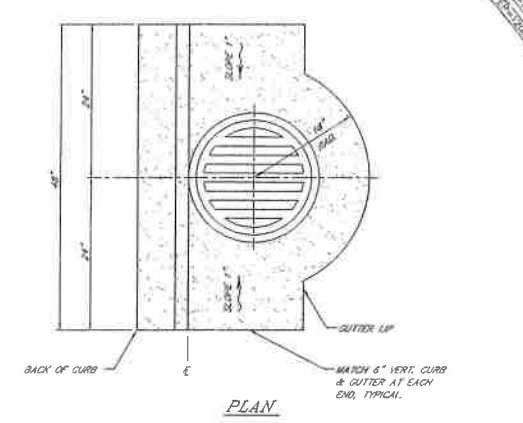
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HAWKINS & ASSOCIATES ENGINEERING 436 MITCHELL RD. MODESTO, CA 95354 PH: (209) 575 - 4295 FX: (209) 575 - 4295		SITE PLAN GEER ROAD MINI STORAGE RUDDY ENTERPRISES, INC. STANISLAUS COUNTY, CALIFORNIA		BY: DRF CHK: CEL DATE: 11/2007 SCALE: 1" = 40' JOB #: 267 FILE: BASE	R.C.E. 50188 R.C.E. 31900 L.S. 4709 R.C.E. 49080 PATRICK GARVEY	SYM DATE DESCRIPTION OF REVISION APPRO
SHEET 4. OF 10. 267						



- LEGEND**
- PROPOSED GRADE BREAK, RIDGE NOTED
 - PROPOSED GROUND ELEVATION
 - PROPOSED CONCRETE ELEVATION
 - PROPOSED TOP-OF-CURB ELEVATION
 - PROPOSED FINISH ELEVATION
 - PROPOSED LIP ELEVATION
 - PROPOSED GATE (SEE DETAILS BY OTHERS)
 - PROPOSED FENCE (SEE DETAILS BY OTHERS)
 - PROPOSED AREA OF CONCRETE (6" THICK WITH 4" CLASS II A.R.)
 - PROPOSED AREA OF PAVEMENT (OVER 1" THICK MATHE. WATERPROOFED TO 1/2" A.R.)
 - PROPOSED VERTICAL CURB (SEE DETAILS SHEET 4)
 - PROPOSED VALLEY BUTTER (SEE DETAILS SHEET 4)
 - PROPOSED CATCH BASIN (SEE DETAILS THIS SHEET)



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CONSTRUCTION STAKING LIABILITY WAIVER

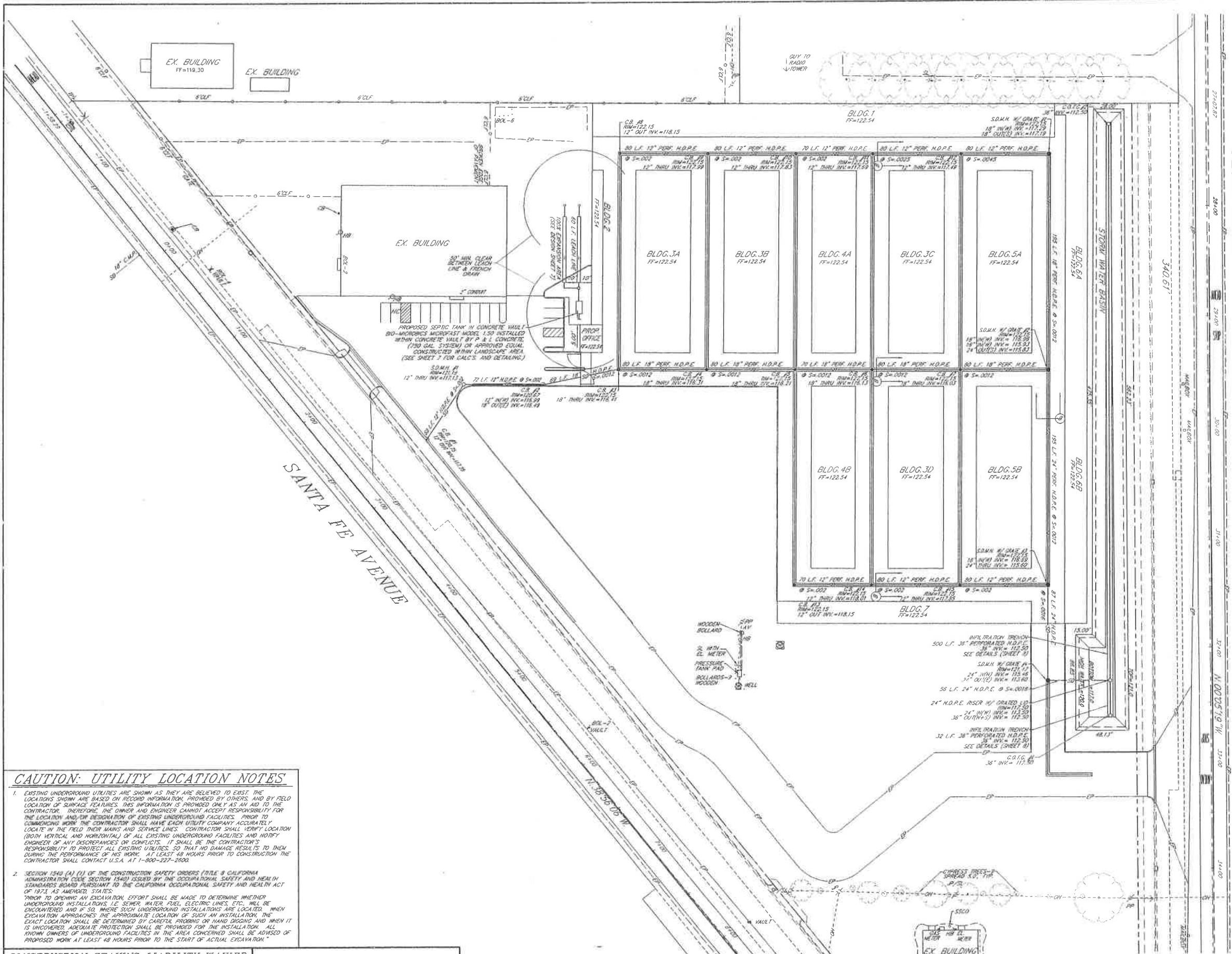
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HAWKINS & ASSOCIATES ENGINEERING 436 MITCHELL RD. MODESTO, CA 95354 PH: (209) 575-4295 FX: (209) 578-4295		GRADING AND DRAINAGE PLAN GEER ROAD MINI STORAGE		RUDDY ENTERPRISES, INC. STANISLAUS COUNTY, CALIFORNIA	
BY: DRF		RCE 50188		RODRICK H. HAWKINS	
CHK: CEL		RCE 31900		CHOLIE E. LINDSAY	
DATE: 11/2007		RCE 49080		PATRICK GARVEY	
SCALE: 1" = 40'		SYM		DATE	
JOB # 2617		DESCRIPTION OF REVISION		APPRO	
FILE: BASE					
SHEET 5					
OF 10					
2617					



GEER ROAD

SANTA FE AVENUE

- LEGEND**
- 12" SD — EXISTING STORM DRAIN LINE
 - SDMH EXISTING STORM DRAIN MANHOLE
 - CB EXISTING CATCH BASIN
 - DI EXISTING DRAINAGE INLET
 - SD — PROPOSED STORM DRAIN LINE (SEE SHEET 8 FOR SECTION 8 DETAIL)
 - SDMH #1 PROPOSED STORM DRAIN MANHOLE (SEE SHEET 8 FOR DETAILS)
 - SDMH W/ GRATE #1 PROPOSED STORM DRAIN MANHOLE WITH GRATE (SEE SHEET 8 FOR DETAILS)
 - CB #1 PROPOSED CATCH BASIN (SEE SHEET 8 FOR DETAILS)
 - SS — PROPOSED SANITARY SEWER LINE
 - PROPOSED SEPTIC TANK (SEE SHEET 7 FOR SPECIFICATIONS)
 - PROPOSED DISTRIBUTION BOX (SEE SHEET 7 FOR SPECIFICATIONS)
 - — PROPOSED LEACH LINE WITH PERFORATED PIPE (SEE SHEET 7 FOR SPECIFICATIONS AND DETAILS)

CAUTION:
THE STORM DRAIN INFILTRATION TRENCH SURFACE SHALL BE INSPECTED AND TESTED BY A REGISTERED PROFESSIONAL ENGINEER PRIOR TO BACKFILL AND CONSTRUCTION OPERATIONS TO INSURE THAT INFILTRATION RATES CONFORM TO DESIGN CRITERIA OUTLINED IN THE SOILS REPORT.

CAUTION: UTILITY LOCATION NOTES

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CONSTRUCTION STAKING LIABILITY WAIVER

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BEFORE DIGGING CALL USA, TOLL FREE 800-227-2600

BEFORE PLANTING TREES, TRENDING POST HOLES, BLASTING, GRADING, EXCAVATING, BORING, DRILLING, ETC. CALL UNDERGROUND SERVICE ALERT FOR UNDERGROUND CLEARANCE. THEY WILL PROVIDE INFORMATION OF LOCATE AND MARK UNDERGROUND FACILITIES FOR YOU.

**STORM DRAIN & SANITARY SEWER PLAN
GEER ROAD MINI STORAGE**

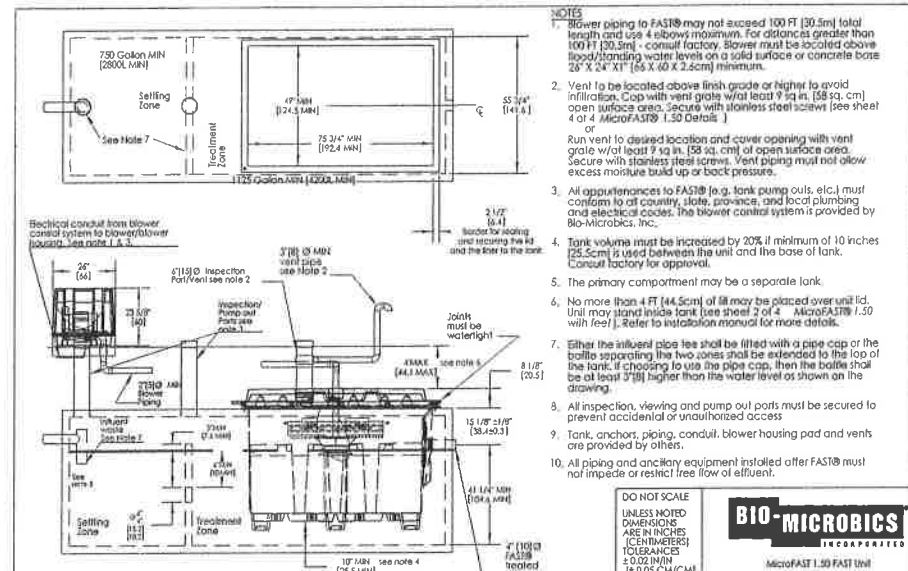
RUDDY ENTERPRISES, INC.
STANISLAUS COUNTY, CALIFORNIA

**HAWKINS & ASSOCIATES
ENGINEERING**
436 MITCHELL RD.
MODESTO, CA 95354
PH: (209) 575 - 4295
FX: (209) 578 - 4295



BY:	CHK:	DATE:	SCALE:	JOB #:	FILE:
DRF	CEL	11/2007	1" = 40'	2617	BASE
APPD:	DESCRIPTION OF PERSON:	DATE:	DATE:	DATE:	DATE:
RCE 50188	RODRICK H. HAWKINS				
RCE 39000	CHOLE E. LINDSAY				
RCE 49080	PATRICK GARVEY				

BIO-MICROBICS SEPTIC TANK SPECIFICATIONS



BIO-MICROBICS
INCORPORATED
MicroFAST 1.50 FAST Unit

Specifications for MicroFAST 1.50 Wastewater Treatment System

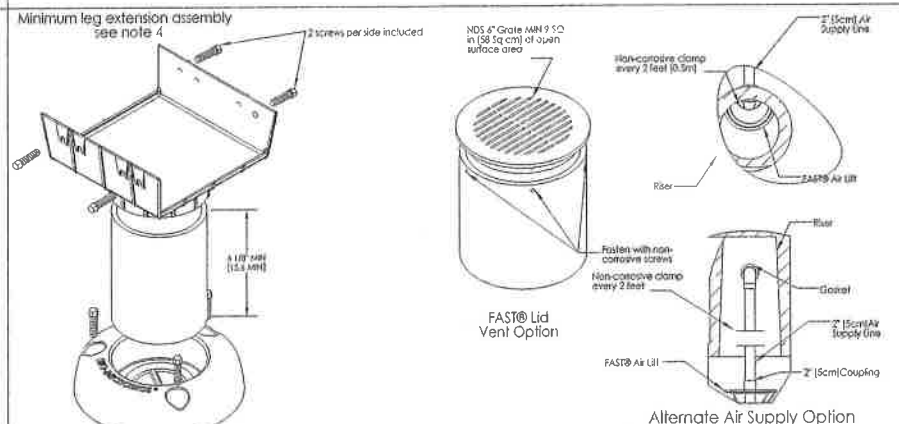
- GENERAL:**
The contractor shall furnish and install (1) MicroFAST® 1.50 treatment system as manufactured by Bio-Microbics, Inc. This treatment system shall be complete with all needed equipment as shown on the drawing and specified herein.
The provided items of equipment shall include FAST® system insert, leg extension, or lid, blower assembly, blower control and alarm. All other items will be provided by others.
The MicroFAST 1.50 unit shall be situated within a 1125 gallon (4250 L) minimum compartment or tank as shown on the plans, or in a 1975 gallon (7500 L) minimum compartment tank. Suggested minimum settling zone is 1125 gallon (4250 L) minimum. Unit must provide adequate pump out access and vent to roof, side, and all other applicable codes. The contractor shall verify coordination between the FAST system and tank supplier with regard to fabrication of the tank, installation of the FAST unit and delivery to the job site.
- OPERATING CONDITIONS:**
The MicroFAST 1.50 treatment system shall be capable of handling the wastewater produced by typical family activities (bath, laundry, kitchen, etc.) ranging from (6) six to (21) twenty-one people and not to exceed 1500 US Gallons per day (570 LFD).
- MEDIA:**
The FAST media shall be manufactured of rigid PVC, polyethylene, or polypropylene and it shall be supported by the polyethylene insert. The media shall be fixed in position and contain no moving or wearing parts and shall not corrode. The media shall be designed and installed to ensure that sloughed solids descend through the media to the bottom of the septic tank.
- BLOWER:**
The MicroFAST 1.50 unit shall come equipped with a regenerative type blower capable of delivering 25-40 CFM (0.71-1.13 CMH). The blower assembly shall include an inlet filter with metal inert element.
- REMOTE MOUNTED BLOWER:**
The blower shall be mounted, up to 100 feet (30.5 meters) maximum, from the MicroFAST unit on a contractor supplied concrete base. The blower must not sit in standing water and its elevation must be higher than the normal flood level. A two-piece, rectangular housing shall be provided. The discharge or line from the blower to the MicroFAST system shall be provided and installed by the contractor.
- ELECTRICAL:**
The electrical source should be within 150 feet (45.7m) of the blower control local codes for longer wiring distances. All wiring must conform to all applicable codes. The input power required for the blower is (115/230 VAC, single phase, 60/50 Hertz, 3.0/2.0 kW load amps, maximum wire size is 14 AWG, (pumped water amps are 3.3/2.1 A). All conduit and wiring between the electrical control panel, the power supply, and the blower shall be furnished and installed by the contractor.
- CONTROLS:**
The control panel provides power to the blower with an alarm system consisting of a visual and audible alarm capable of signaling blower circuit failure and high water conditions. The control panel is equipped with a 12VDC (sequencing float switch) limit control feature. A manual silence switch is included.
- INSTALLATION AND OPERATING INSTRUCTIONS:**
All work installation and connections of the MicroFAST 1.50 shall be done in accordance with the written instructions provided by the manufacturer and in accordance with all applicable local codes and regulations. Operators manuals shall be furnished which will include a description of installation, operation, and system maintenance procedures. There shall be a manual for the installer, service personnel, and owner.
- FLOW AND DOWNS:**
FAST systems have been successfully designed, tested and certified receiving gravity, demand-based influent flow. When influent flow is controlled by pump or other means to help with highly variable flow conditions, then multiple dosing events should be used to help ensure even flow.
- WARRANTY:**
Bio-Microbics, Inc. warrants every new residential FAST® model (MicroFAST® 1.50, 0.75, 0.50, and 1.31) system against defects in materials and workmanship for a period of two years after installation or three years from date of shipment, subject to the following terms and conditions. (All FAST® system models are warranted for a period of one year after installation or eighteen months from date of shipment, whichever occurs first, subject to the following terms and conditions).
During the warranty period, if any part is defective or fails to perform as specified when operating at design conditions, and if the equipment has been installed and is being controlled and maintained in accordance with the written instructions provided by Bio-Microbics, Inc., Bio-Microbics, Inc. will repair or replace at its discretion such defective parts free of charge. Defective parts must be returned by owner to Bio-Microbics, Inc.'s factory postage paid, if so requested. The cost of labor and of other expenses resulting from replacement of the defective parts and from installation of parts furnished under the warranty and regular maintenance and repairs shall be borne by the owner. The warranty does not cover general system misuse, operator consequences which have been damaged by flooding or any components that have been dismantled by unauthorized persons, improperly installed or damaged due to altered or improper wiring or overload protection. The warranty does not apply to the fasteners, bolts or other hardware which are not included in the warranty. The warranty does not include any of the following: standard, changing, specific type or design system. Bio-Microbics, Inc. is not responsible for consequential or incidental damages of any nature resulting from such things as, but not limited to, defect in design, material, or workmanship, or delays in delivery, replacement or repair.
THIS WARRANTY IS IN FULL OF ALL OTHER WARRANTIES EXPRESS OR IMPLIED. BIO-MICROBICS SPECIFICALLY DISCLAIMS ANY IMPLIED WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE.
NO REPRESENTATIVE OR PERSON IS AUTHORIZED TO GIVE ANY OTHER WARRANTY OR TO ASSUME FOR BIO-MICROBICS, INC. ANY OTHER LIABILITY IN CONNECTION WITH THE SALE OF ITS PRODUCTS. Contact your local distributor for parts and service.

BIO-MICROBICS
INCORPORATED
MicroFAST 1.50 FAST Unit

DO NOT SCALE
UNLESS NOTED
DIMENSIONS
ARE IN INCHES
(CENTIMETERS)
TOLERANCES
± 0.02 IN (± 0.05 CM)
± 0.01 IN (± 0.02 CM)

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NOTES

- Secure leg extension to the FAST® unit by placing two screws on each side of the leg extension (4 screws per foot are included).
- Cut 4" (101.6 mm) 40 PVC pipe not included to obtain the desired height. Minimum pipe length of 4' (1.22m) (15.24m). Original leg extension height requires a pipe length of 11' (3.35m). For heights greater than 18' (5.49m) use 2" (50.8 mm) 40 PVC pipe not included. (Consult factory for extending beyond 36' (10.97m)).
- Anchor the leg extensions to the tank with non-corrosive hardware not included at the provided mounting points.
- Increase minimum tank volume by 20% if minimum leg extension is used.
- The air supply line into the FAST® unit must be secured so as to prevent vibration induced damage. The air supply line should be secured with a non-corrosive clamp every 2' (610 mm).
- Tank, anchor, piping, conduit, blower, housing pad and vents are provided by others.

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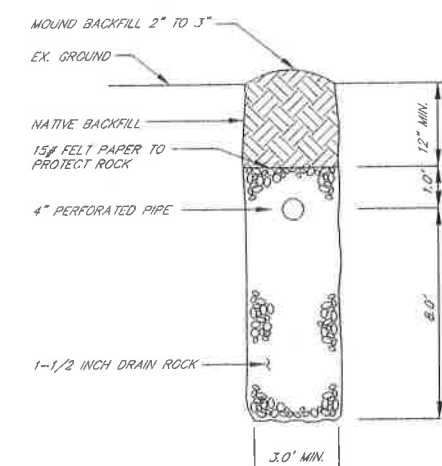
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WASTE WATER DISPOSAL SPECIFICATIONS

- DESIGN CRITERIA:**
 - U.P.C. 1994 EDITION, THE MANUAL OF SEPTIC TANK PRACTICE AND THE STANISLAUS COUNTY DEPARTMENT OF ENVIRONMENTAL RESOURCES GUIDELINES FOR SEPTIC SYSTEM DESIGN.
- GENERAL NOTES:**
 - THE DISPOSAL SYSTEM COVERED UNDER THIS CONTRACT AND DESIGNED HEREIN CONSISTS OF ALL WORKS TO BE DONE AS SHOWN ON THE PLANS. THIS WORK CONSISTS OF THE CONSTRUCTION OF THE DISTRIBUTION LINE WITH ITS APPURTENANCES AND THE CONSTRUCTION OF THE LEACH FIELD SYSTEM.
 - APPROPRIATE SUPERVISION DURING CONSTRUCTION IS MANDATORY TO INSURE THAT THE DESIGN IS ADHERED TO, TO PROVIDE THE DESIRED FUNCTIONAL QUALITY OF THE SYSTEM.
- CONSTRUCTION NOTES:**
 - THE SEWAGE DISPOSAL SYSTEM CONSISTS OF A DRAIN LINE FROM THE BUILDING TO THE SEPTIC TANK, THE SEPTIC TANK, THE DISTRIBUTION BOXES, THE CONVEYANCE LINES AND THE LEACH LINES.
 - CONVEYANCE PIPE SHALL BE CAST IRON PIPE, VITRIFIED CLAY PIPE, OR ANY OTHER PIPE AS APPROVED BY THE UNIFORM PLUMBING CODE. ANY MATERIALS USED SHALL CONFORM TO THE CURRENT STANDARD SPECIFICATIONS OF THE AMERICAN NATIONAL STANDARDS INSTITUTE.
 - SEPTIC TANK: PRE-MANUFACTURED MODEL NO. MICROFAST 1.5 UNIT BY BIO-MICROBICS INC., OR AN APPROVED EQUAL; INSTALLED WITHIN A 1500 GALLON VAULT BY P&L CONCRETE, OR APPROVED EQUAL.
 - LAYING PIPE: THE PIPE SHALL BE LAID TO CONFORM TO THE PROSCRIBED LINES AND GRADES. THE LINE AND GRADE SHALL BE OBTAINED BY MEANS OF A LASER BEAM OR BY MEASURING FROM A RIGHTLY STRETCHED STRING OR WIRE SET FROM THE SURVEY STAKES. ALL ADJUSTMENTS OF PIPE TO LINE AND GRADE SHALL BE MADE BY SCRAPING AWAY OR FILLING IN AND TAMPING UNDER THE BODY OF THE PIPE, NOT BY BLOCKING OR WEDGING.
 - THE MANUFACTURER'S RECOMMENDATIONS ON PROPER PROCEDURES FOR LAYING PIPE SHALL BE FOLLOWED.
 - ALL PIPE SHALL BE LAID WITH THE BELL END UPSTREAM AND SHALL BE LAID UPSTREAM FROM STRUCTURE TO STRUCTURE. THREE GRADE STAKES PER 100 FOOT INTERVAL SHALL BE PROVIDED, AND EACH STAKE SHALL BE USED IN ESTABLISHING THE GRADE AND ALIGNMENT FOR THE SEWER.
 - LEACH LINES SHALL BE CONSTRUCTED AS PER THE DETAILS SHOWN ON THE PLAN. THE CONTRACTOR SHALL CONFIRM INFILTRATIVE CAPABILITY OF TRENCH PRIOR TO PLACEMENT OF LEACH LINE AND GRAVEL.
 - DISTRIBUTION LINE: THE DISTRIBUTION PIPE SHALL BE P.V.C. 1120 PRESSURE RATED PIPE 125 P.S.I. - SDR 32.5 CONFORMING TO A.S.T.M. D2241.
 - CONNECTIONS: CONNECTIONS ARE TO BE MADE USING SOLVENT CEMENT JOINTS PER MANUFACTURE'S RECOMMENDATIONS CAPABLE OF SUPPORTING THE LINE RATED PRESSURE.
 - LEACH LINES: USE RING, RITE P.V.C. PRESSURE PIPE 4 INCH DIAMETER - 125 P.S.I. RATED CONFORMING TO A.S.T.M. D2241. PIPE TO BE PERFORMED AS SHOWN ON THE PLANS. FITTINGS TO BE RUBBER RINGS CONFORMING TO A.S.T.M. D1869.
 - GRAVEL: COARSE GRADED GRAVEL USED IN LEACH LINE IS TO BE 1/2 INCH MINIMUM TO 2 1/2 INCH MAXIMUM AGGREGATE.
 - PAPER BARRIER: UNTREATED BUILDING PAPER IS TO BE USED AS A BARRIER ON TOP OF THE GRAVEL SEPARATING THE ROCKS FROM THE SOIL BACKFILL.

DESIGN OF LEACH FIELD SYSTEM



NUMBER OF EMPLOYEES = 2
GUESTS/DAY = 6
AVERAGE FLOW / PERSON = 15 GAL PER DAY
FACTOR OF SAFETY = 2
2 X 8 X 15 = 240 GPD

SEPTIC TANK SIZE = BIO-MICROBICS MICROFAST MODEL 1.5
VOL = 1500 GALLONS PER DAY

LEACH AREA - MAKE TRENCH 36" WIDE
ABSORPTION AREA = 3 X 1 = 3 FT²/FT
ABSORPTION RATE = 1.6 G/FT²/D

FROM MANUAL OF SEPTIC TANK PRACTICE
WITH PERCOLATION RATE OF LESS THAN 10 MINUTES/INCH.
LENGTH OF TRENCH REQUIRED = 480' - (1.6 X 3) = 100 FT.

PERCOLATION TEST RESULTS
SEE ATTACHED REPORT BY J.H. KLEINFELDER
PROJECT NO. 80299-001

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HAWKINS & ASSOCIATES ENGINEERING
436 MITCHELL RD.
MODESTO, CA 95354
PH: (209) 575 - 4295
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SEPTIC SYSTEM DETAILS AND SPECIFICATIONS
GEER ROAD MINI STORAGE

RUDDY ENTERPRISES, INC.
STANISLAUS COUNTY, CALIFORNIA

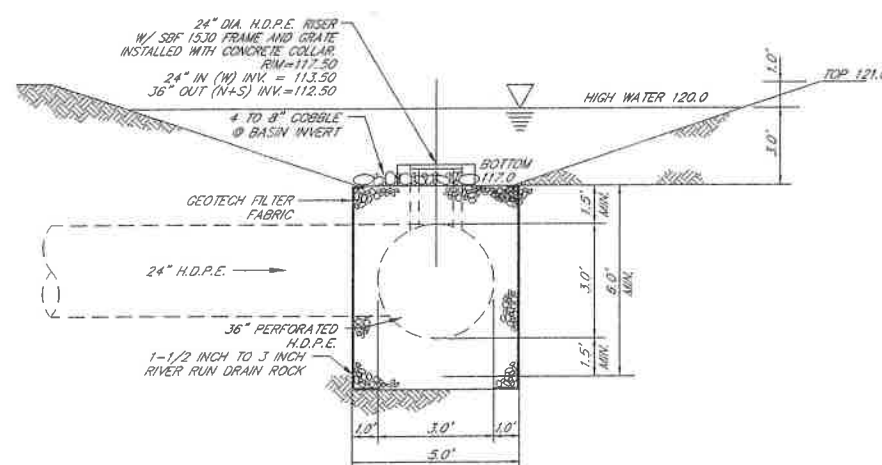
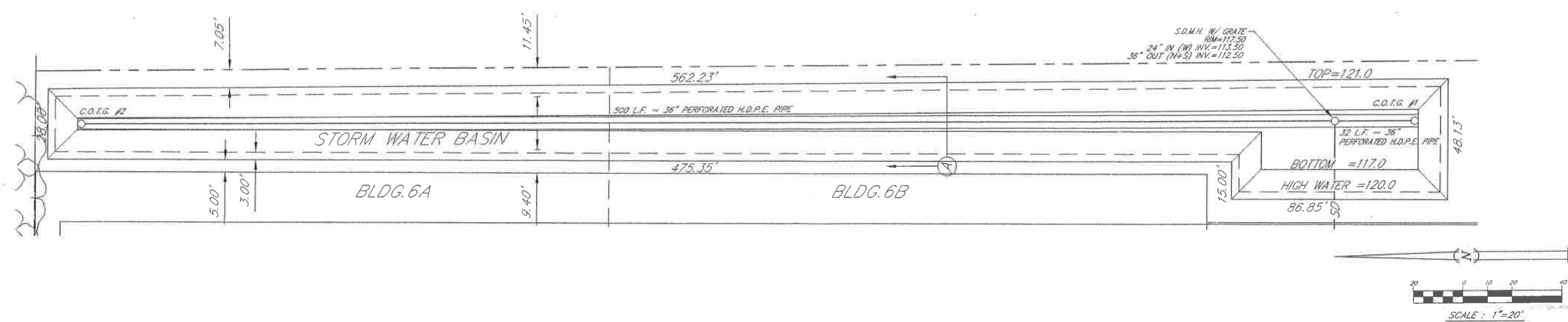
BY: RCE 50188
CHK: RCE 50188
DATE: 11/20/07
SCALE: VARIOUS
JOB #: 2817
FILE: BASE

DESCRIPTION OF REVISION

SYMBOL **DATE** **DESCRIPTION OF REVISION**

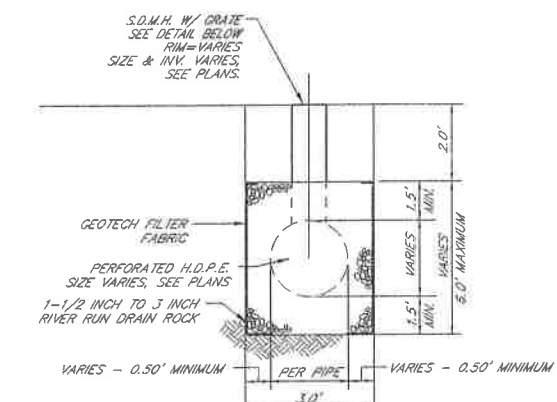
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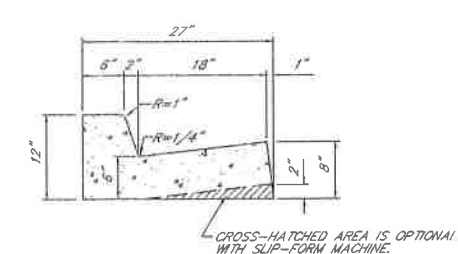


SECTION A
FRENCH DRAIN SECTION
NO SCALE

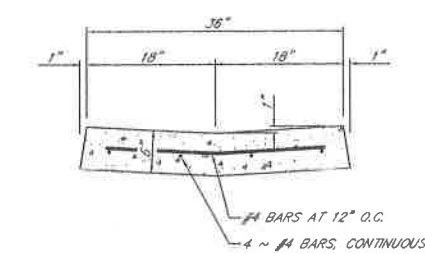
NOTE TO CONTRACTOR: IF DURING CONSTRUCTION OF FRENCH DRAINS, AN IMPERVIOUS LAYER IS ENCOUNTERED, THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR RESOLUTION.



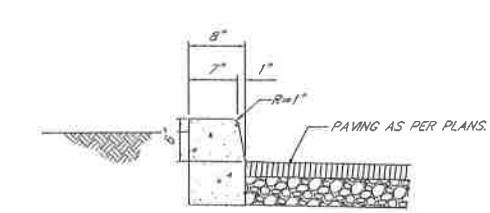
SECTION B



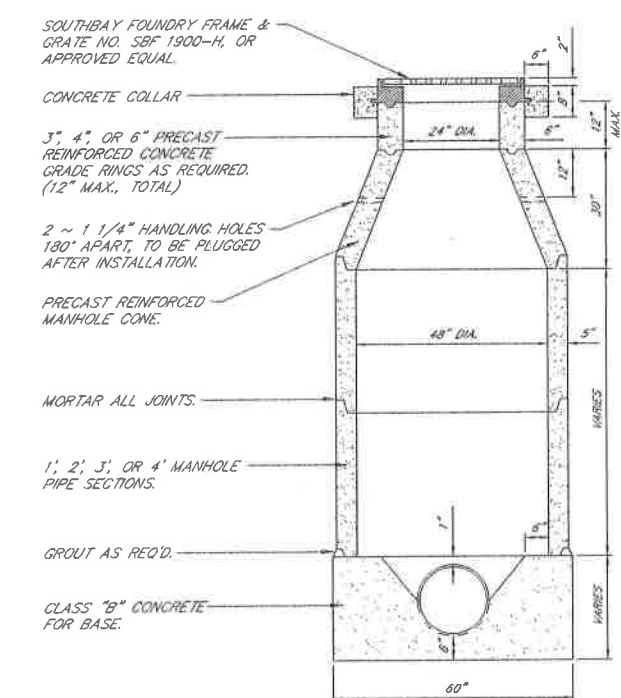
CURB & GUTTER DETAIL
NO SCALE



VALLEY GUTTER DETAIL
NO SCALE



VERTICAL CURBING DETAIL
NO SCALE



NOTE: PRECAST REINFORCED CONCRETE MANHOLE UNITS SHALL CONFORM TO ASTM C-478. CONSTRUCT PIPE JOINTS AT 4' MAX. FROM BASE OF MANHOLE. PRIOR APPROVAL MUST BE OBTAINED BEFORE INSTALLING MORE THAN 12' OF GRADE RINGS.

MANHOLE WITH
GRATE DETAIL
NO SCALE

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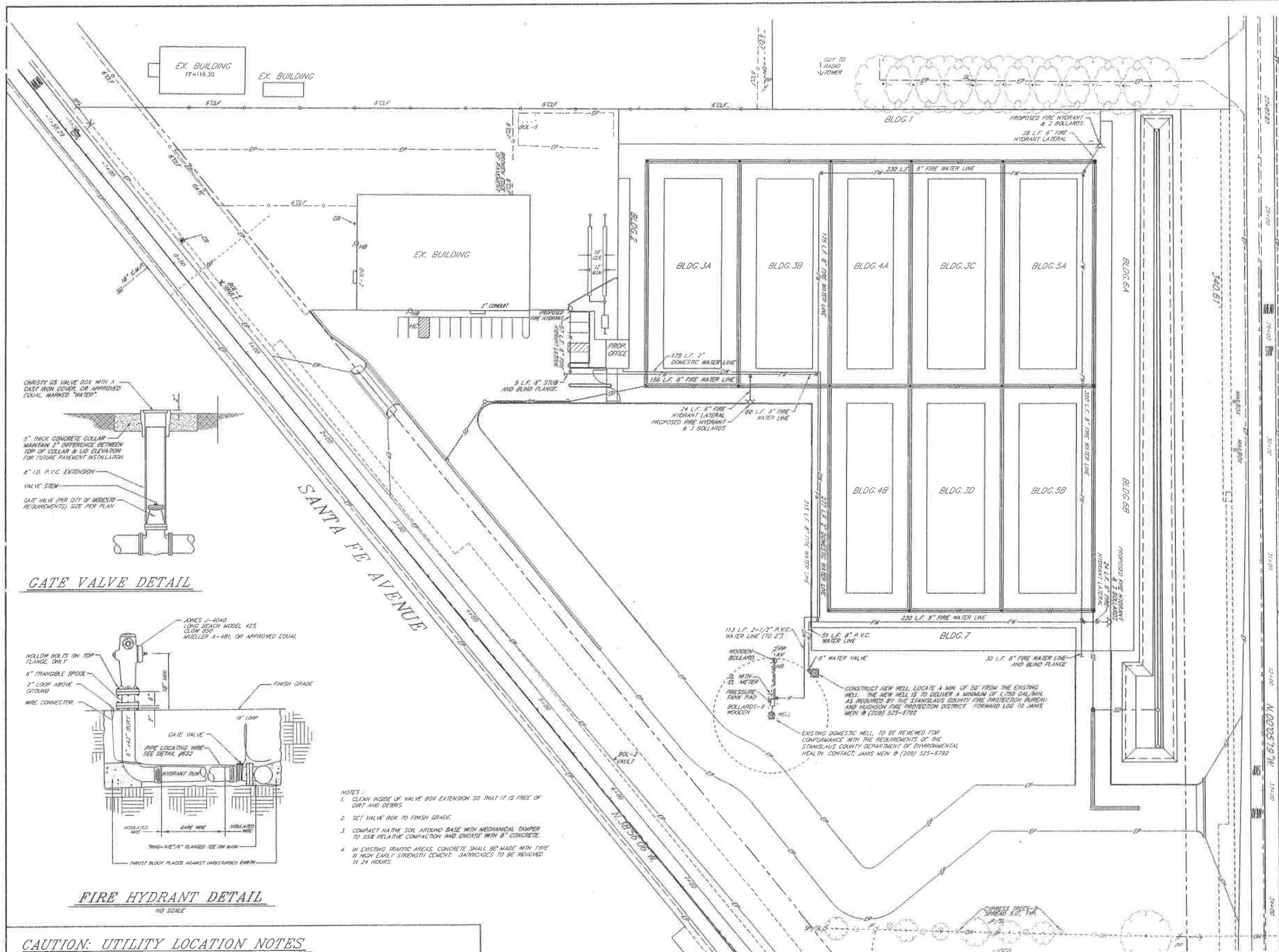
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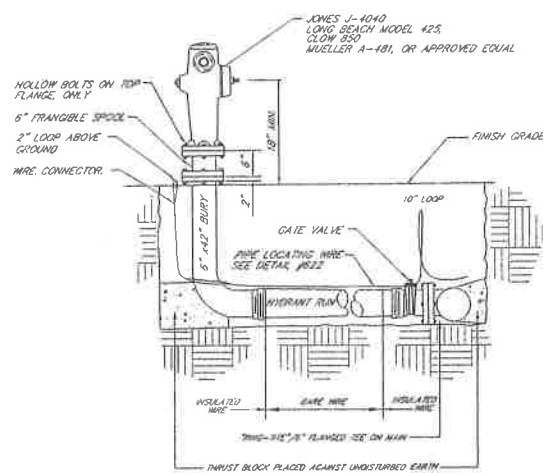
BEFORE DIGGING CALL USA, TOLL FREE 800-227-2600

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 HAWKINS & ASSOCIATES ENGINEERING 436 MITCHELL RD. MODESTO, CA. 95354 PH: (209) 575 - 4295 FX: (209) 578 - 4295	SHEET		8.		OF		10.		2617	
	STORM DRAIN DETAILS									
	GEER ROAD MINI STORAGE									
	RUDDY ENTERPRISES, INC.									
	STANISLAUS COUNTY, CALIFORNIA									
	BY: DRF									
	CHK: CEL									
	DATE: 11/20/07									
	SCALE: VARIES									
	JOB #: 2617									
FILE: BASE										
RODRICK H. HAWKINS CROULE E. LINDSAY PATRICK GARVEY										
R.C.E. 50188 R.C.E. 31900, I.S. 4709 R.C.E. 49080										



GATE VALVE DETAIL



FIRE HYDRANT DETAIL

NO SCALE

CAUTION: UTILITY LOCATION NOTES

- EXISTING UNDERGROUND UTILITIES ARE SHOWN AS THEY ARE BELIEVED TO EXIST. THE LOCATIONS SHOWN ARE BASED ON RECORD INFORMATION PROVIDED BY OTHERS, AND BY FIELD LOCATION OF SURFACE FEATURES. THIS INFORMATION IS PROVIDED ONLY AS AN AID TO THE CONTRACTOR. THEREFORE, THE OWNER AND ENGINEER CANNOT ACCEPT RESPONSIBILITY FOR THE LOCATION AND/OR DESIGNATION OF EXISTING UNDERGROUND FACILITIES. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL HAVE EACH UTILITY COMPANY ACCURATELY LOCATE IN THE FIELD THEIR MAINS AND SERVICE LINES. THE CONTRACTOR SHALL VERIFY LOCATION (BOTH VERTICAL AND HORIZONTAL) OF ALL EXISTING UNDERGROUND FACILITIES AND NOTIFY THE ENGINEER REGARDING ANY DISCREPANCIES OR CONFLICTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES, SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF HIS WORK. AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL CONTACT U.S.A. AT 1-800-227-2800.
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CONSTRUCTION STAKING LIABILITY WAIVER

THESE IMPROVEMENT PLANS HAVE BEEN PREPARED WITH THE INTENT THAT THE FIRM OF HAWKINS & ASSOCIATES ENGINEERING WILL BE PERFORMING THE CONSTRUCTION STAKING FOR THE COMPLETE PROJECT. IF, HOWEVER, ANOTHER ENGINEERING AND/OR SURVEYING FIRM SHOULD BE EMPLOYED TO USE THESE PLANS FOR THE PURPOSE OF CONSTRUCTION STAKING, NOTICE IS HEREBY GIVEN THAT THE FIRM OF HAWKINS & ASSOCIATES ENGINEERING WILL NOT ASSUME ANY RESPONSIBILITY FOR ERRORS OR OMISSIONS, IF ANY, WHICH MIGHT OCCUR AND WHICH COULD HAVE BEEN AVOIDED, CORRECTED OR MITIGATED IF HAWKINS & ASSOCIATES ENGINEERING HAD PERFORMED THE STAKING WORK.



BEFORE DIGGING CALL USA, TOLL FREE 800-227-2800

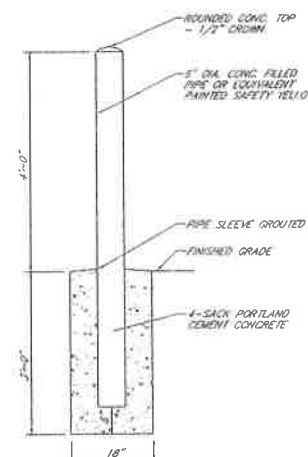
BEFORE PLANTING TREES, DRINKING POST HOLE, BLASTING, GRADING, EXCAVATING, BORING, DRILLING, ETC., CALL UNDERGROUND SERVICE ALERT FOR UNDERGROUND CLEARANCE. THEY WILL PROVIDE INFORMATION OR LOCATE AND MARK UNDERGROUND FACILITIES FOR YOU.

GEER ROAD

LEGEND

- 8" W. EXISTING WATER LINE
- EXISTING WATER VALVE
- EXISTING WATER METER
- EXISTING FIRE HYDRANT
- EXISTING HOSE BIB
- PROPOSED FIRE WATER LINE
- PROPOSED WATER VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED BOLLARD

NOTE: SPRINKLER SYSTEM DEMAND AT MINI STORAGE FACILITY IS 810 GPM.



BOLLARD DETAIL

NO SCALE

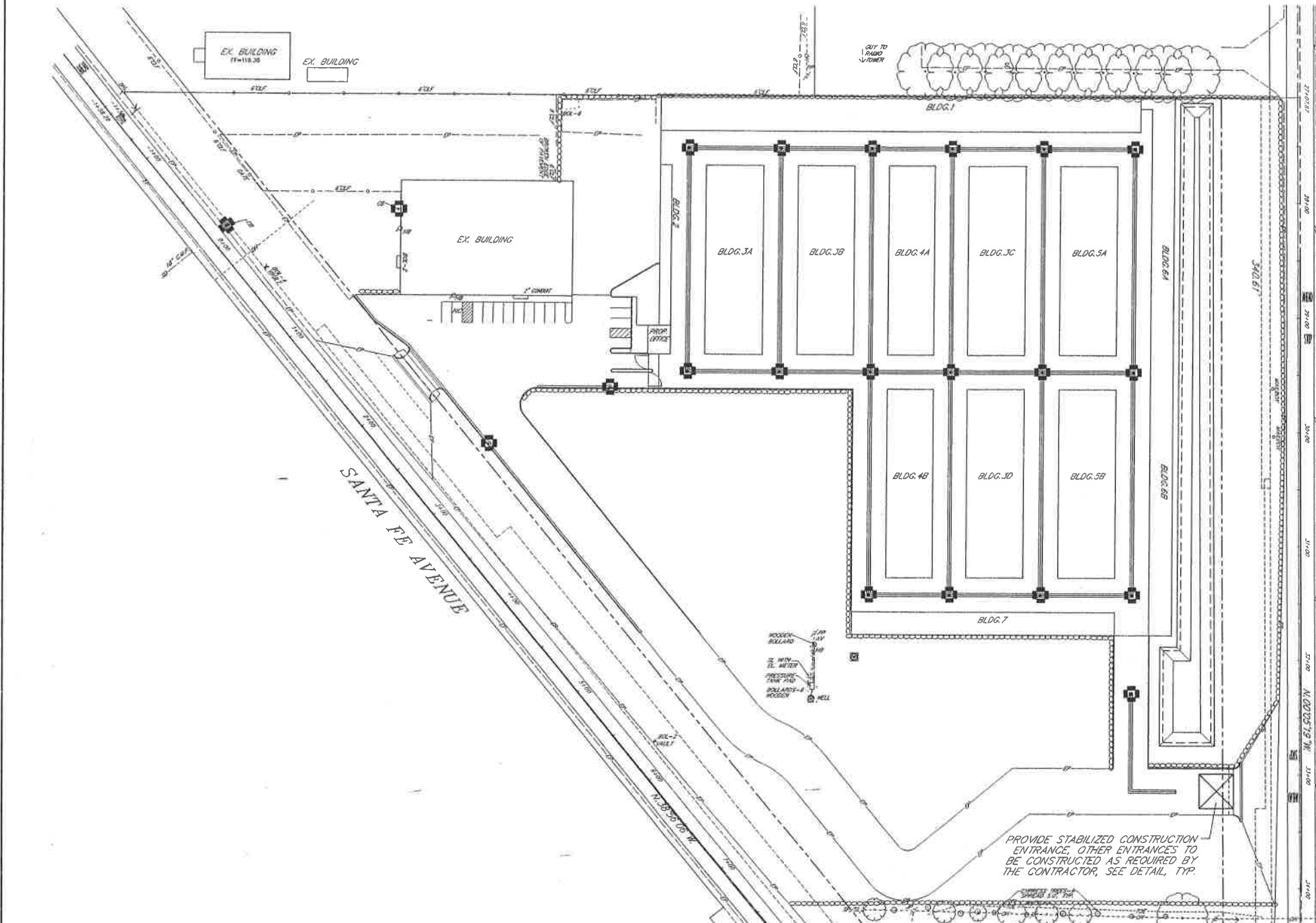
HAWKINS & ASSOCIATES
ENGINEERING
436 MITCHELL RD.
MODESTO, CA 95354
PH: (209) 575 - 4295
FX: (209) 578 - 4295

FIRE WATER PLAN
GEER ROAD MINI STORAGE
RUDDY ENTERPRISES, INC.
STANISLAUS COUNTY, CALIFORNIA

BY: DRP
CHK: CEL
DATE: 11/2007
SCALE: 1" = 40'
JOB #: 267
FILE: BASE

RCE 50188
RCE 3800, L.S. 4709
RCE 49080
RODRICK H. HAWKINS
CHAD E. LINDSAY
PATRICK GARVEY
DATE DESCRIPTION OF REVISION
DATE DESCRIPTION OF REVISION

SHEET
9
OF
10
267



GENERAL NOTES

- CONSTRUCTION SITES ARE COMMON SOURCES OF STORM WATER POLLUTION. MATERIALS AND WASTES THAT BLOW OR WASH INTO A STORM DRAIN, GUTTER, OR STREET HAVE A DIRECT IMPACT ON STORM WATER POLLUTION. CONTRACTOR OR OWNER MAY BE RESPONSIBLE FOR ANY ENVIRONMENTAL DAMAGE CAUSED BY SUBCONTRACTORS OR EMPLOYEES.
- TRAIN ALL EMPLOYEES AND SUBCONTRACTORS. INFORM SUBCONTRACTORS ABOUT THE STORM WATER REQUIREMENTS AND THEIR RESPONSIBILITIES.
- COVER EXPOSED PILES OF SOIL OR CONSTRUCTION MATERIALS WITH PLASTIC SHEETING OR TEMPORARY ROOFS. BEFORE IT RAINS, SWEEP AND REMOVE MATERIALS FROM SURFACES THAT DRAIN TO STORM DRAINS.
- KEEP POLLUTANTS OFF EXPOSED SURFACES. PLACE TRASH CANS AND RECYCLING RECEPTACLES AROUND THE SITE TO MINIMIZE LITTER.
- CLEAN UP LEAKS, DRIPS AND OTHER SPILLS IMMEDIATELY SO THEY DO NOT CONTAMINATE SOIL OR GROUNDWATER OR LEAVE RESIDUE ON PAVED SURFACES.
- COVER AND MAINTAIN DUMPSTERS. CHECK FREQUENTLY FOR LEAKS. PLACE DUMPSTERS UNDER ROOFS OR COVER WITH TARP OR PLASTIC SHEETING SECURED AROUND THE OUTSIDE OF THE DUMPSTER. NEVER CLEAN OUT A DUMPSTER BY HOSEING IT DOWN ON THE CONSTRUCTION SITE.
- MAKE SURE PORTABLE TOILETS ARE IN GOOD WORKING ORDER. INSPECT FREQUENTLY FOR LEAKS.
- REMOVE ANY EXISTING VEGETATION ONLY WHEN ABSOLUTELY NECESSARY.
- PROTECT DOWNSLOPE DRAINAGE COURSES, AND STORM DRAINS WITH "WATTLES", SILT FENCES, OR DIRT BERM AS NECESSARY.
- USE CHECK DAMS OR DITCHES TO DIVERT RUNOFF AROUND EXCAVATIONS.
- PRACTICE SOURCE REDUCTION - MINIMIZE WASTE WHEN YOU ORDER MATERIALS. ORDER ONLY THE AMOUNT NECESSARY TO FINISH THE JOB.
- USE RECYCLABLE MATERIALS WHENEVER POSSIBLE.
- DISPOSE OF ALL WASTES PROPERLY. MANY CONSTRUCTION MATERIALS AND WASTES, INCLUDING SOLVENTS, WATER BASED PAINTS, BROKEN ASPHALT AND CONCRETE, WOOD, AND CLEARED VEGETATION CAN BE RECYCLED. MATERIALS THAT CANNOT BE RECYCLED MUST BE TAKEN TO AN APPROPRIATE LANDFILL OR DISPOSED OF AS HAZARDOUS WASTE. NEVER BURY WASTE MATERIALS OR LEAVE THEM IN THE STREET OR NEAR STORM DRAIN FACILITIES.
- DESIGNATE ONE AREA OF THE CONSTRUCTION SITE, WELL AWAY FROM STORM DRAIN INLETS, FOR AUTO AND EQUIPMENT PARKING. AS PRACTICAL, REFUELING AND ROUTINE VEHICLE AND EQUIPMENT MAINTENANCE TO BE OFF-SITE AT APPROPRIATE SERVICE CENTERS.
- MAINTAIN ALL VEHICLES AND HEAVY EQUIPMENT. INSPECT FREQUENTLY.
- PERFORM MAJOR MAINTENANCE, REPAIR, AND VEHICLE/EQUIPMENT WASHING OFF-SITE.
- DO NOT USE DIESEL OIL TO LUBRICATE EQUIPMENT OR PARTS.
- NEVER HOSE DOWN "DIRTY" PAVEMENT OR IMPERMEABLE SURFACES WHERE FLUIDS HAVE SPILLED. USE DRY CLEANUP METHODS (ABSORBENT MATERIALS, CAT LITTER, AND/OR RAGS) WHENEVER POSSIBLE. IF WATER MUST BE USED, USE JUST ENOUGH TO KEEP THE DUST DOWN.
- SWEEP UP SPILLED DRY MATERIALS IMMEDIATELY. NEVER ATTEMPT TO "WASH THEM AWAY" WITH WATER, OR BURY THEM. USE AS LITTLE WATER AS POSSIBLE FOR DUST CONTROL.
- CLEAN SPILLS ON DIRT AREAS BY DIGGING UP AND PROPERLY DISPOSING CONTAMINATED SOILS.
- REPORT SIGNIFICANT SPILLS TO THE APPROPRIATE SPILL RESPONSE AGENCIES IMMEDIATELY.
- AVOID CREATING EXCESS DUST WHEN BREAKING ASPHALT OR CONCRETE.
- MAKE SURE BROKEN PAVEMENT DOES NOT COME IN CONTACT WITH RAINFALL OR RUNOFF.
- SHOVEL OR VACUUM SAW-CUT SLURRY AND REMOVE FROM THE SITE. COVER OR BARRICADE STORM DRAIN DURING SAW-CUTTING IF NECESSARY.
- STORE BOTH DRY AND WET MATERIALS UNDER COVER, PROTECTED FROM RAINFALL AND RUNOFF. PROTECT DRY MATERIALS FROM WIND.
- SECURE BAGS OF CEMENT AFTER THEY ARE OPEN. BE SURE TO KEEP WIND-BLOWN CEMENT POWDER AWAY FROM GUTTERS, STORM DRAINS, RAINFALL, AND RUNOFF.
- WASH OUT CONCRETE MIXERS ONLY IN DESIGNATED WASH-OUT AREAS IN YOUR YARD, WHERE THE WATER WILL FLOW INTO CONTAMINANT PONDS OR ONTO DIRT. WHENEVER POSSIBLE, RECYCLE WASHOUT BY PUMPING BACK INTO MIXERS FOR REUSE. NEVER DISPOSE OF WASHOUT INTO THE STREET, STORM DRAINS, DRAINAGE DITCHES OR BASINS.
- WHEN CLEANING UP AFTER CONCRETE POURS, UTILIZE CONCRETE WASH OUT AREA, PER CAL TRANS SHEET DETAIL 11A-3.
- PLACE "WATTLES" OR OTHER EROSION CONTROL DOWN-SLOPE TO CAPTURE RUNOFF CARRYING MORTAR OR CEMENT BEFORE IT REACHES THE STORM DRAIN.
- WHEN BREAKING UP PAVING, BE SURE TO PICK UP ALL THE PIECES AND DISPOSE PROPERLY. RECYCLE LARGE CHUNKS OF BROKEN CONCRETE AT A LANDFILL. DISPOSE OF SMALL AMOUNTS OF EXCESS DRY CONCRETE, GROUT, AND MORTAR IN THE TRASH. NEVER BURY WASTE MATERIAL.

LEGEND

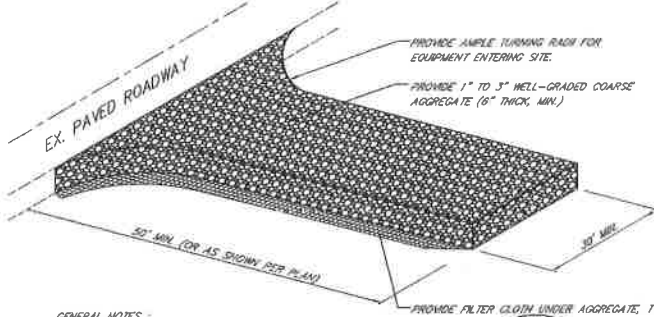
- PROPR. KRISTAR SLOPEGARD 1 FIBER ROLLS SEDIMENT CONTROL OR COUNTY APPROVED EQUAL
- PROPR. GRAVEL ROCK BAGS OR COUNTY APPROVED EQUAL

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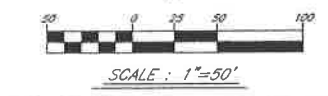


- GENERAL NOTES:
- GRADE ENTRANCE TO PREVENT RUN-OFF FROM LEAVING SITE.
 - INSPECT ENTRANCE MONTHLY AND AFTER EACH RAINFALL.
 - REPLACE GRAVEL MATERIAL WHEN SURFACE VOIDS ARE VISIBLE.
 - REMOVE ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS WITHIN 24 HOURS.
 - REMOVE GRAVEL AND FILTER FABRIC AT COMPLETION OF CONSTRUCTION.

NOTE: CITY APPROVED EQUAL WILL BE ACCEPTED

STABILIZED CONSTRUCTION ENTRANCE DETAIL

NO SCALE



RCE 5088 RCE 3900, L.S. 4709 RCE 49080		RODRICK H. HAWKINS CRODIE E. LINDSAY PATRICK GARNEY		DESCRIPTION OF REVISION		AFFD	
BY:	RHH	CEL	DATE:	11/2007	SCALE:	1" = 50'	FILE:
CHK:	CEL	DATE:	11/2007	SCALE:	1" = 50'	FILE:	
DATE:	11/2007	SCALE:	1" = 50'	FILE:			
JOB #:	2617	FILE:					
EROSION CONTROL PLAN GEER ROAD MINI STORAGE				RUDDY ENTERPRISES, INC. STANISLAUS COUNTY, CALIFORNIA			
HAWKINS & ASSOCIATES ENGINEERING 436 MITCHELL RD. MODESTO, CA 95354 PH: (209) 575-4295 FX: (209) 578-4295				SHEET 10. OF 10. 2617			

OFFSITE PLANS
GEER ROAD AND SANTA FE AVENUE
AT
SANTA FE CROSSING
STANISLAUS COUNTY, CALIFORNIA



VICINITY MAP
NO SCALE

SPECIFICATIONS

GENERAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANISLAUS COUNTY DEPARTMENT OF PUBLIC WORKS 2007 IMPROVEMENT STANDARDS AND ALL OTHER CODES OR REGULATIONS IN FORCE BY APPLICABLE GOVERNING AGENCIES.
2. BENCHMARK: A 2" IRON PIPE LOCATED AT THE CENTERLINE INTERSECTION OF GEER ROAD AND SANTA FE AVENUE.
ELEVATION = 124.15' - NAV88
3. WHERE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS, IT IS UNDERSTOOD THAT ONLY FIRST QUALITY WORKMANSHIP AND MATERIALS ARE TO BE USED.
4. THE CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING CONSTRUCTION, INCLUDING JOB SITE SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO WORKING HOURS. THE CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD HAWKINS & ASSOCIATES ENGINEERING, INC. HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH WORK PERFORMED ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF HAWKINS & ASSOCIATES ENGINEERING, INC.
5. THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY AND ARE BASED UPON INFORMATION PROVIDED BY UTILITY COMPANIES AND BY MEASUREMENT OF SURFACE FEATURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND FACILITIES AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH OCCUR DUE TO FAILURE TO LOCATE AND PRESERVE SUCH UTILITIES.
6. CAUTION: CALL UNDERGROUND SERVICE ALERT (USA) BEFORE YOU DIG, PRIOR TO BORES, GRADING, EXCAVATION, DRILLING, TRENCHING, SETTING POSTS, PLANTING TREES, ETC. USA WILL PROVIDE INFORMATION OR OR LOCATE AND MARK UNDERGROUND UTILITIES.
CALL USA, TOLL FREE AT 1 (800) 227-2800.
7. CONTRACTOR SHALL LOCATE AND PRESERVE ALL FACILITIES INCLUDING GAS, WATER, IRRIGATION, SEWER, POWER, STREET LIGHTS, TELEPHONE, AND OTHERS WHICH MAY BE IN THE AREA OF CONSTRUCTION. UTILITY COMPANIES SHALL BE NOTIFIED PRIOR TO COMMENCEMENT OF WORK.
8. ALL CASTINGS AND COVERS SHALL BE ADJUSTED TO FINISH GRADE BY THE PAVING CONTRACTOR AFTER STREET IMPROVEMENTS ARE COMPLETE.
9. AN ENCROACHMENT PERMIT SHALL BE OBTAINED FROM THE COUNTY OF STANISLAUS BEFORE BEGINNING WORK IN THE PUBLIC RIGHT-OF-WAY.
10. STAKING LINES AND GRADES: ALL STATIONS AND DIMENSIONS ARE GIVEN OR WILL BE MADE IN A HORIZONTAL PLANE. GRADES ARE REFERENCED FROM THE TOP OF STAKES OR NAILS, UNLESS OTHERWISE NOTED.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL STAKES AND CONTROL POINTS PROVIDED FOR PROJECT CONSTRUCTION. EXPENSES INCURRED FOR REPLACEMENT OF STAKES OR CONTROL POINTS SHALL BE BORN BY THE CONTRACTOR.
12. THE CONTRACTOR SHALL PROVIDE, AT HIS EXPENSE, APPROPRIATE DUST CONTROL AS REQUIRED FOR THE PREVENTION AND/OR ALLEVIATION OF DUST NUISANCE DURING THE COURSE OF PROJECT CONSTRUCTION.
13. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL SAFETY REGULATIONS PERTAINING TO HIS OPERATIONS. HE SHALL PROVIDE SIGNS, BARRICADES, FLAG MEN OR OTHER DEVICES NECESSARY FOR PUBLIC SAFETY. THE CONTRACTOR'S ATTENTION IS CALLED TO THE REQUIREMENTS OF TITLE 8, OF THE CALIFORNIA ADMINISTRATIVE CODE, SUBCHAPTER 4, ARTICLE 6, "EXCAVATIONS, TRENCHES, EARTHWORK".

14. THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 9, SECTION 8703, 8708 AND 8707 OF THE STATE LABOR CODE. THE CONTRACTOR SHALL SUBMIT, FOR APPROVAL, A DETAILED PLAN SHOWING DESIGN OF ALL SHORING, BRACING, SLOPE CUTS AND OTHER PROVISIONS FOR WORKER PROTECTION IN AREAS OF EXCAVATION EXCEEDING FIVE FEET IN DEPTH. IF SUCH PLAN VARIES FROM SHORING SYSTEM STANDARDS, THE PLANS SHALL BE PREPARED BY A REGISTERED CIVIL OR STRUCTURAL ENGINEER.
15. WARNING: HAWKINS & ASSOCIATES ENGINEERING, INC. WILL NOT BE RESPONSIBLE OR LIABLE FOR UNAUTHORIZED USES OR CHANGES TO THESE PLANS AND SPECIFICATIONS. ONLY SIGNED AND APPROVED HARD COPIES OF THESE PLANS SHALL BE USED FOR CONSTRUCTION. ANY CHANGES TO THESE PLANS MUST BE IN WRITING AND APPROVED BY HAWKINS & ASSOCIATES ENGINEERING, INC.
16. IT IS INTENDED THAT HAWKINS & ASSOCIATES ENGINEERING, INC. WILL PROVIDE THE CONSTRUCTION STAKING FOR THIS PROJECT. HOWEVER, SHOULD ANOTHER ENGINEERING AND/OR SURVEYING FIRM BE EMPLOYED TO USE THESE PLANS FOR THE PURPOSE OF PROVIDING CONSTRUCTION STAKING, NOTICE IS HEREBY GIVEN THAT HAWKINS & ASSOCIATES ENGINEERING, INC. WILL NOT ASSUME ANY RESPONSIBILITY FOR ERRORS OR OMISSIONS, IF ANY, WHICH MAY OCCUR, AND WHICH COULD HAVE BEEN AVOIDED, CORRECTED, OR OTHERWISE MITIGATED HAD HAWKINS & ASSOCIATES ENGINEERING, INC. PERFORMED THE STAKING WORK.

GRADING NOTES

17. AFTER CLEARING AND DISKING, THE EXPOSED SOIL SURFACE SHALL BE SCARIFIED AND RECOMPACTED TO A MINIMUM DEPTH OF 6". THE RECOMMENDED DEGREE OF RECOMPACTION IS 90% IN BUILDING AREAS, AND 95% IN AREAS TO BE COVERED WITH ASPHALT PAVING. THESE PERCENTAGES REFER TO MAXIMUM DRY DENSITY AS OBTAINED BY THE ASTM D-1557-78 TEST PROCEDURE.
18. THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF THE GRADING AND LANDSCAPE CONTRACTORS WITH RESPECT TO FINISH GRADING IN PLANTING AREAS. THE GRADING CONTRACTOR SHALL STOCKPILE APPROPRIATE YARDAGE FROM SITE PREPARATION FOR THIS USE. THE EXACT AMOUNT SHALL BE DETERMINED BY THE LANDSCAPE CONTRACTOR. THE DIRT STOCKPILED SHALL BE FREE FROM GRASS, WEEDS, AND OTHER DEBRIS. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL PLACEMENT AND GRADING IN MOUNDING AREAS.
19. COMPACTION TESTS: CONTRACTOR TO PROVIDE COMPACTION TESTING AS REQUIRED BY STANISLAUS COUNTY, AT THE CONTRACTOR'S EXPENSE. AS A MINIMUM, TESTS SHALL BE PERFORMED AT 200 FOOT INTERVALS. ALL TESTING MUST BE PERFORMED BY A LICENSED TESTING FIRM. ALL TEST RESULTS SHALL BE PROVIDED TO THE ENGINEER FOR REVIEW.

OWNER

RUDDY ENTERPRISES, INC.
1115 13TH STREET
MODESTO, CALIF. 95354
PHONE (209) 529-9993
FAX (209) 522-4618

INDEX

- ST1. GENERAL SPECIFICATIONS, VICINITY MAP & INDEX
ST2. GEER ROAD PLAN AND PROFILE
ST3. SANTA FE AVENUE PLAN AND PROFILE - SHEET 1
ST4. SANTA FE AVENUE PLAN AND PROFILE - SHEET 2

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WDID NO.: 5S50C350500

APPROVED BY THE STANISLAUS COUNTY
DEPARTMENT OF PUBLIC WORKS.

BY:
Sr. Civil Engineer

DATE: May 19, 2011

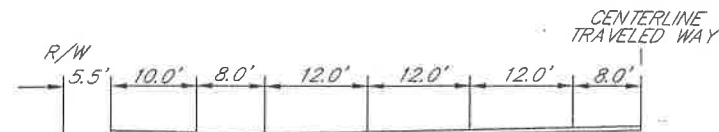
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HAWKINS & ASSOCIATES
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436 MITCHELL RD.
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RUDDY ENTERPRISES, INC.
STANISLAUS COUNTY, CALIFORNIA

GENERAL SPECIFICATIONS, VICINITY MAP AND INDEX
GEER ROAD MINI STORAGE

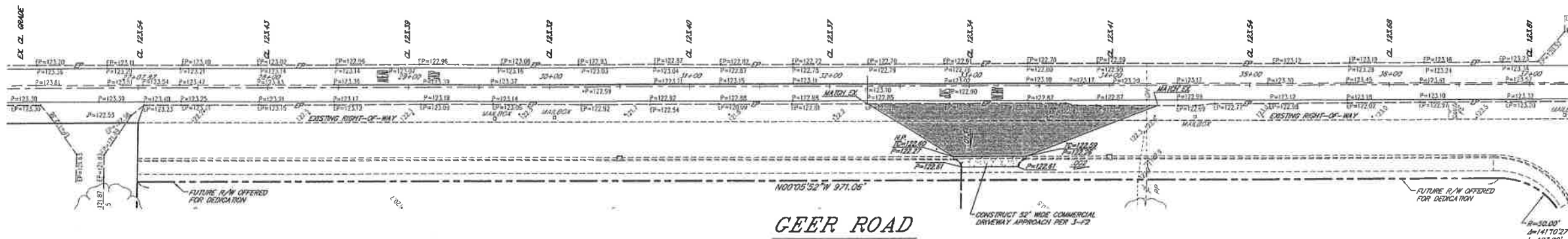
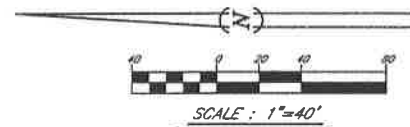
BY: DHE/PCS
CHK: RHH
DATE: 1/20/11
SCALE: 1" = 40'
JOB #: 267
FILE: BASE
RCE 5088
RCE 3600, L.S. 4709
RODRICK H. HAWKINS
CROLE E. LINDSAY
DATE
DESCRIPTION OF REVISION
APPROVED



67.5' HALF STREET - GEER ROAD (FUTURE)

NOTE

ALL TOP OF CURB GRADES ARE FROM THE "STANISLAUS COUNTY INTERSECTION WIDENING PROJECT, PHASE 1: SANTA FE AND GEER ROAD", 60% CD DATED SEPTEMBER 20, 2010 BY BKF.

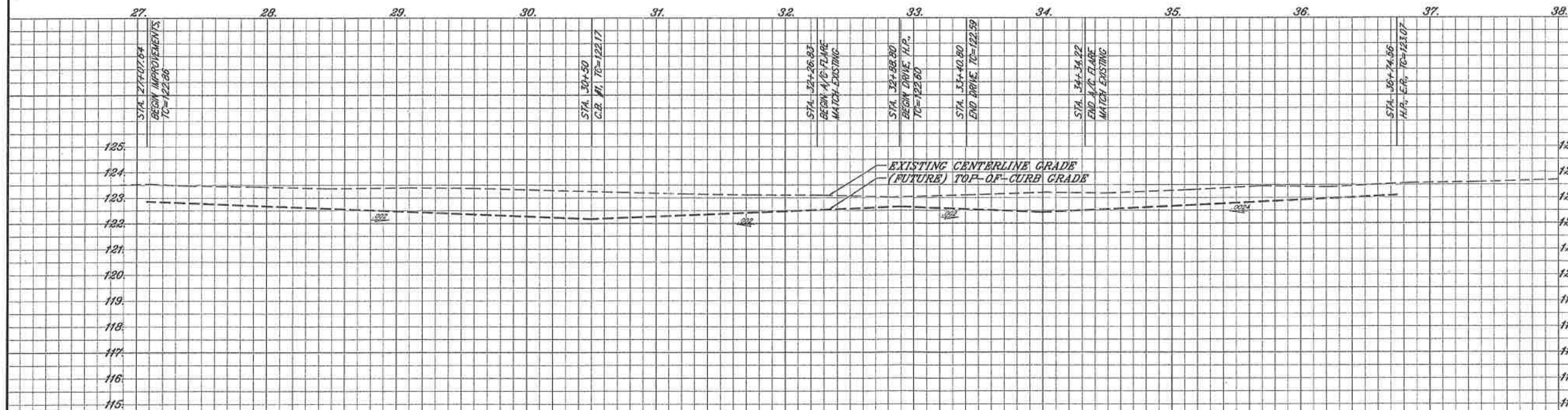


LEGEND

100.0	EXISTING GROUND ELEVATION	---	EXISTING SIGN, AS NOTED
C=100.00	EXISTING CONCRETE ELEVATION	---	EXISTING BOLLARD
TC=100.00	EXISTING TOP-OF-CURB ELEVATION	---	EXISTING STORM DRAIN LINE
P=100.00	EXISTING PAVEMENT ELEVATION	---	EXISTING CATCH BASIN
EP=100.00	EXISTING EDGE-OF-PAVEMENT ELEVATION	---	EXISTING JOINT POLE
FL=100.00	EXISTING FLOWLINE ELEVATION	---	EXISTING POWER POLE
LP=100.00	EXISTING LIP ELEVATION	---	EXISTING SERVICE POLE
RL=100.00	EXISTING RM ELEVATION	---	EXISTING JOINT POLE W/ GUY WIRE
EP=---	EXISTING EDGE-OF-PAVEMENT	---	EXISTING POWER POLE W/ GUY WIRE
CL=---	EXISTING CHAIN LINK FENCE	---	EXISTING SERVICE POLE W/ GUY WIRE
CL=---	EXISTING CHAIN LINK FENCE HEIGHT AS NOTED	---	EXISTING SITE LIGHT
---	EXISTING TREE, SPREAD TO SCALE	---	EXISTING GAS LINE
---		---	EXISTING VAULT

CAUTION: UTILITY LOCATION NOTES

- EXISTING UNDERGROUND UTILITIES ARE SHOWN AS THEY ARE BELIEVED TO EXIST. THE LOCATIONS SHOWN ARE BASED ON RECORD INFORMATION PROVIDED BY OTHERS AND BY FIELD LOCATION OF SURFACE FEATURES. THIS INFORMATION IS PROVIDED ONLY AS AN AID TO THE CONTRACTOR. THEREFORE, THE OWNER AND ENGINEER CANNOT ACCEPT RESPONSIBILITY FOR THE LOCATION AND/OR DESIGNATION OF EXISTING UNDERGROUND FACILITIES. PRIOR TO COMMENCING WORK THE CONTRACTOR SHALL HAVE EACH UTILITY COMPANY ACCURATELY LOCATE IN THE FIELD THEIR MAINS AND SERVICE LINES. CONTRACTOR SHALL VERIFY LOCATION (BOTH VERTICAL AND HORIZONTAL) OF ALL EXISTING UNDERGROUND FACILITIES AND NOTIFY OWNER OF ANY DISCREPANCIES OR CONFLICTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES, SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF HIS WORK. AT LEAST 48 HOURS PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL CONTACT U.S.A. AT 1-800-227-2600.
- SECTION 1540 (A) (1) OF THE CONSTRUCTION SAFETY ORDERS (TITLE 8 CALIFORNIA ADMINISTRATION CODE SECTION 1540) ISSUED BY THE OCCUPATIONAL SAFETY AND HEALTH STANDARDS BOARD PURSUANT TO THE CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH ACT OF 1974, AS AMENDED, STATES: PRIOR TO OPENING AN EXCAVATION, EFFORT SHALL BE MADE TO DETERMINE WHETHER UNDERGROUND INSTALLATIONS, I.E. SEWER, WATER, FUEL, ELECTRIC LINES, ETC., WILL BE ENCOUNTERED AND IF SO, WHERE SUCH UNDERGROUND INSTALLATIONS ARE LOCATED. WHEN EXCAVATION APPROACHES THE APPROXIMATE LOCATION OF SUCH AN INSTALLATION, THE EXACT LOCATION SHALL BE DETERMINED BY CAREFUL PROBING OR HAND DIGGING AND WHEN IT IS UNCOVERED, ADEQUATE PROTECTION SHALL BE PROVIDED FOR THE INSTALLATION. ALL KNOWN OWNERS OF UNDERGROUND FACILITIES IN THE AREA CONCERNED SHALL BE ADVISED OF PROPOSED WORK AT LEAST 48 HOURS PRIOR TO THE START OF ACTUAL EXCAVATION.



CONSTRUCTION STAKING LIABILITY WAIVER

THESE IMPROVEMENT PLANS HAVE BEEN PREPARED WITH THE INTENT THAT THE FIRM OF HAWKINS & ASSOCIATES ENGINEERING WILL BE PERFORMING THE CONSTRUCTION STAKING FOR THE COMPLETE PROJECT. IF HOWEVER, ANOTHER ENGINEERING AND/OR SURVEYING FIRM SHOULD BE EMPLOYED TO USE THESE PLANS FOR THE PURPOSE OF CONSTRUCTION STAKING, NOTICE IS HEREBY GIVEN THAT THE FIRM OF HAWKINS & ASSOCIATES ENGINEERING WILL NOT ASSUME ANY RESPONSIBILITY FOR ERRORS OR OMISSIONS, IF ANY, WHICH MIGHT OCCUR AND WHICH COULD HAVE BEEN AVOIDED, CORRECTED OR MITIGATED IF HAWKINS & ASSOCIATES ENGINEERING HAD PERFORMED THE STAKING WORK.



BEFORE DIGGING CALL USA TOLL FREE 800-227-2600

BEFORE PLACING TREES, BRUSHING, POST HOLEING, BLASTING, GRADING, EXCAVATING, BORING, DRILLING, ETC., CALL UNDERGROUND SERVICE ALERT FOR UNDERGROUND CLEARANCE. THEY WILL PROVIDE INFORMATION OR LOCATE AND MARK UNDERGROUND FACILITIES FOR YOU.

GEER ROAD PLAN AND PROFILE
GEER ROAD MINI STORAGE

RUDDY ENTERPRISES, INC.
STANISLAUS COUNTY, CALIFORNIA

HAWKINS & ASSOCIATES
ENGINEERING, INC.
436 MITCHELL RD.
MODESTO, CA 95354
PH: (209) 575-4295
FX: (209) 578-4295



SHEET

ST2

OF

4

2617

RODRICK H. HAWKINS
CROULE E. LINDSAY

BY: DRH/CHS
CHK: RH
DATE: 1/20/11
SCALE: 1" = 40'
JOB #: 2617
FILE: BASE

RCE 50188
RCE 3900, LS 4709

DATE: 1/20/11
SCALE: 1" = 40'
JOB #: 2617
FILE: BASE

DATE: 1/20/11

SCALE: 1" = 40'

JOB #: 2617

FILE: BASE

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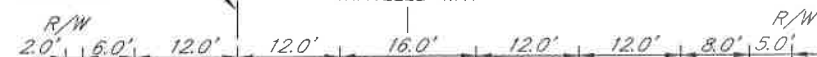
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CENTERLINE PER COUNTY DESIGN DRAWINGS.

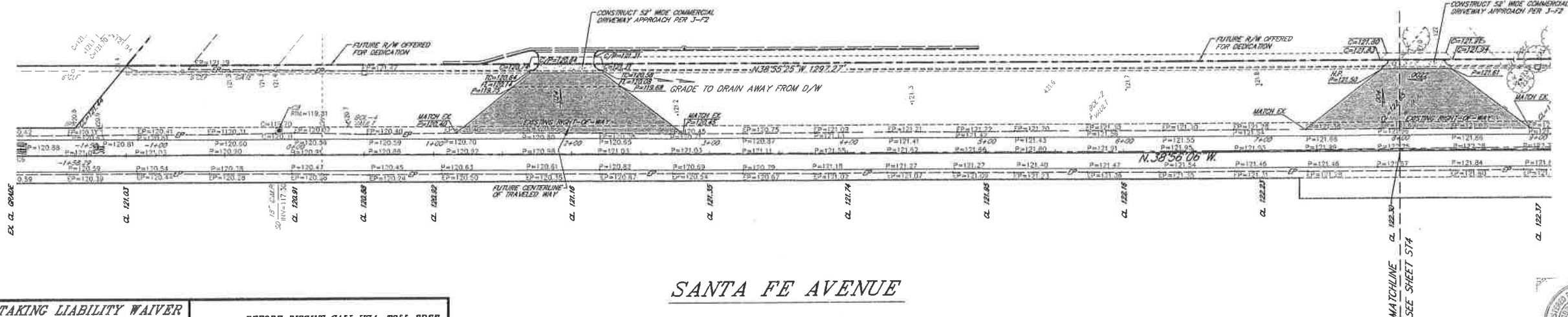
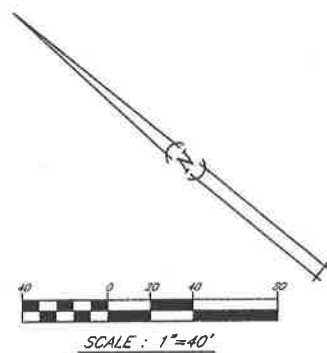
CENTERLINE TRAVELED WAY



85.0' SANTA FE AVENUE (FUTURE)

NOTE

ALL TOP OF CURB GRADES ARE FROM THE "STANISLAUS COUNTY INTERSECTION WIDENING PROJECT, PHASE 1: SANTA FE AND GEAR ROAD", 60% CD DATED SEPTEMBER 20, 2010 BY BKF.



SANTA FE AVENUE

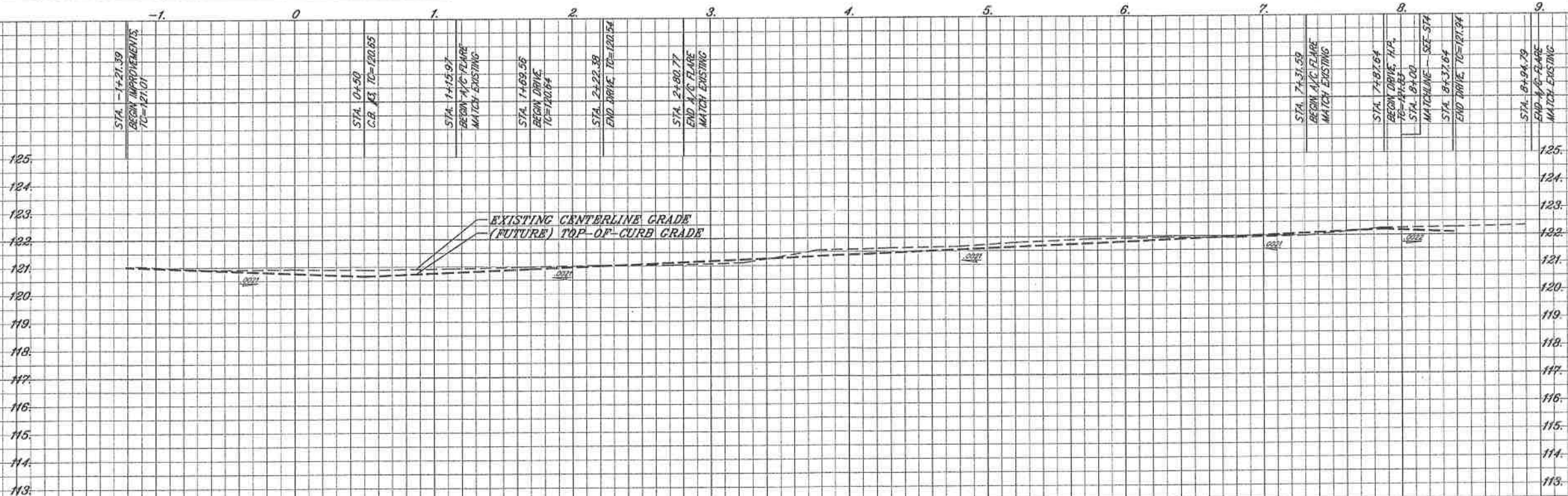
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SCALE:
HORIZONTAL: 1" = 40'
VERTICAL: 1" = 4'

BY: RODRICK H. HAWKINS	RCE: 50888
CHK: CROLE E. LINDSAY	RCE: 3600, L.S. 4709
DATE: 1/20/11	DESCRIPTION OF REVISION
SCALE: 1" = 40'	DATE
JOB #: 267	DATE
FILE: BASE	DATE

SANTA FE AVENUE PLAN AND PROFILE - 1
GEAR ROAD MINI STORAGE
RUDDY ENTERPRISES, INC.
STANISLAUS COUNTY, CALIFORNIA

HAWKINS & ASSOCIATES
ENGINEERING, INC.
436 MITCHELL RD.
MODESTO, CA 95354
PH: (209) 575 - 4295
FX: (209) 578 - 4295



SHEET
OF
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267

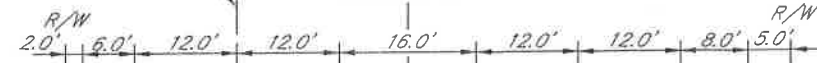
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CENTERLINE PER COUNTY DESIGN DRAWINGS.

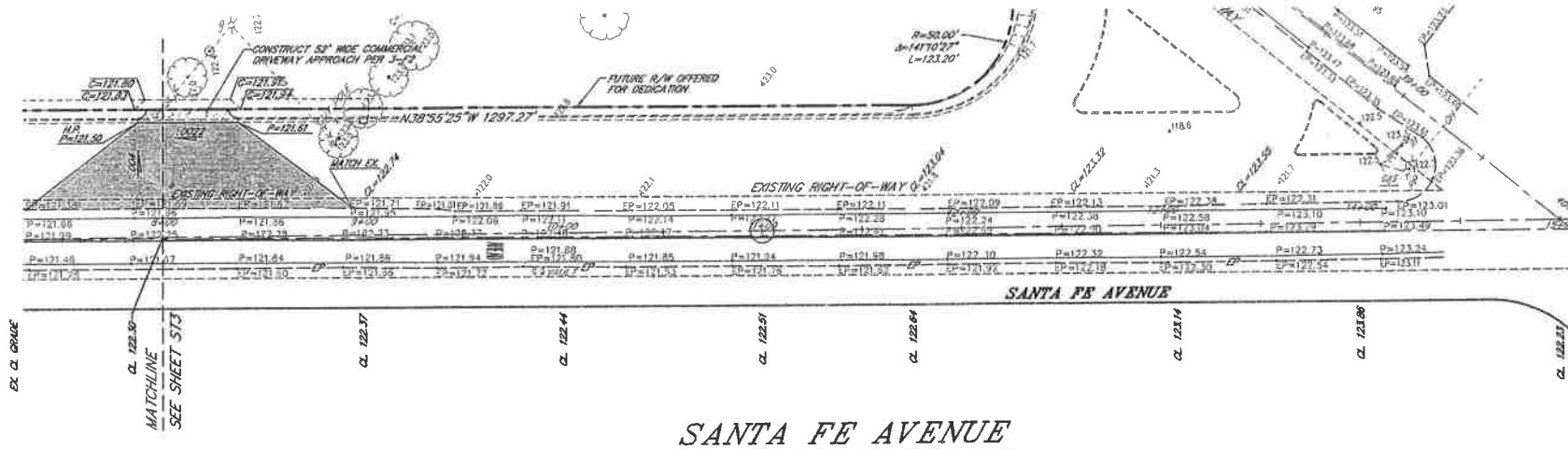
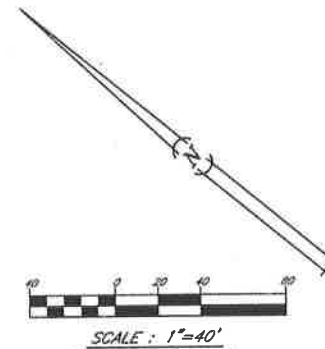
CENTERLINE TRAVELED WAY



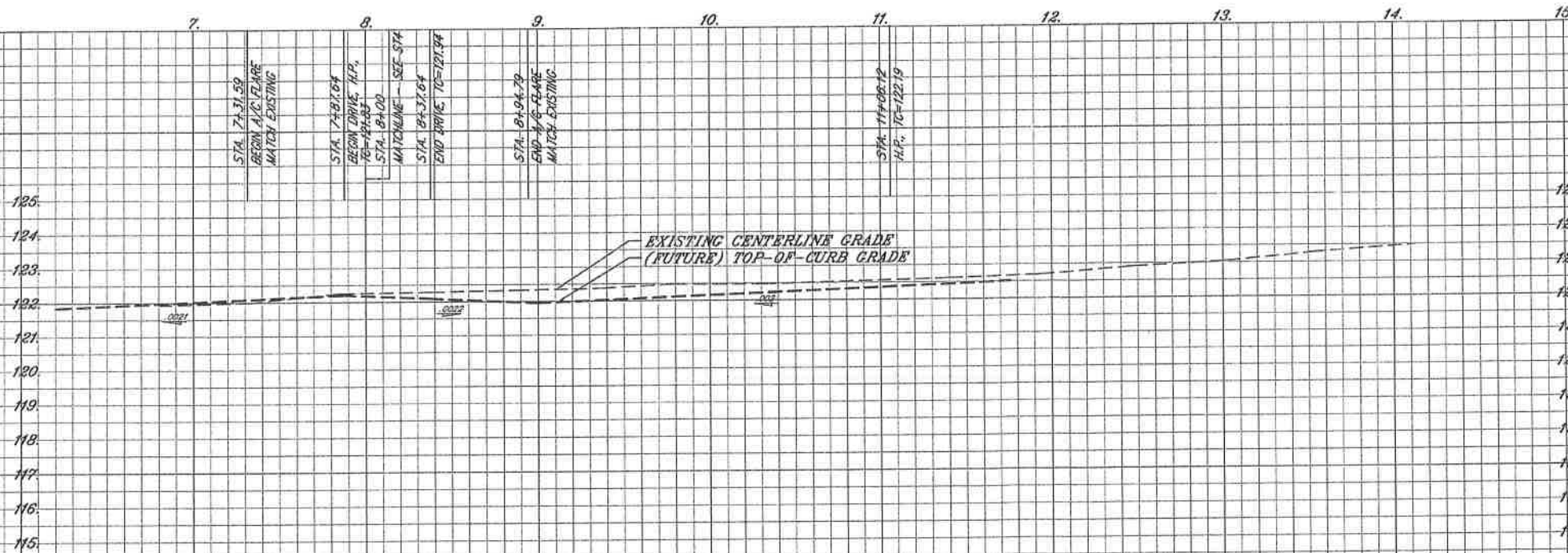
85.0' SANTA FE AVENUE (FUTURE)

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SANTA FE AVENUE



CONSTRUCTION STAKING LIABILITY WAIVER

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SCALE:
HORIZONTAL: 1" = 40'
VERTICAL: 1" = 4'

SANTA FE AVENUE PLAN AND PROFILE - 2
GEER ROAD MINI STORAGE

HAWKINS & ASSOCIATES
ENGINEERING, INC.
436 MITCHELL RD.
MODESTO, CA 95354
PH: (209) 575 - 4285
FX: (209) 578 - 4285



SHEET
ST4.
OF
4.
267

RUDDY ENTERPRISES, INC.
STANISLAUS COUNTY, CALIFORNIA

BY: DHE/RSB
CHK: RHH
DATE: 1/20/11
SCALE: 1" = 40'
JOB #: 267
FILE: BASE

RODRICK H. HAWKINS
CROLE E. LINDSAY
RCE 50888
RCE 3900, L.S. 4709

SYMBOL DATE DESCRIPTION OF REVISION APPROVED



RECORDED AT REQUEST OF:
Department of Public Works
Stanislaus County

Stanislaus, County Recorder
Lee Lundrigan Co Recorder Office
DOC- 2011-0043758-00

Acct 402-Counter Customers
Monday, MAY 23, 2011 13:35:29
Ttl Pd \$0.00 Nbr-0003059734
OCE/R2/1-6

WHEN RECORDED, MAIL TO:
Department of Public Works
Stanislaus County
ATTN: Angie Halverson
1716 Morgan Road
Modesto, CA 95358

Space Above This Line For Recorder's Use

**COUNTY OF STANISLAUS
DEPARTMENT OF PUBLIC WORKS**

4306 Santa Fe Avenue
Street Address of Lot or Parcel
Hughson, California
Name of Town or Post Office
APN: 045-007-031

STREET IMPROVEMENT AGREEMENT

This Agreement, made and entered into this 9th day of May, 2011, by and between the County of Stanislaus, hereinafter called "County", and Ruddy Enterprises, Incorporated, hereinafter called "Owner".

WITNESSETH

WHEREAS, application has been made by the Owner for a Planned Development Rezone requiring the full improvement of:

4306 Santa Fe Avenue

Name of Street(s)

Hughson, California

Name of Town

in accordance with the Ordinance Code of Stanislaus County; and

WHEREAS, the Ordinance Code of Stanislaus County authorizes the execution of a Street Improvement Agreement in lieu of immediate installation of such improvements.

cc: [signature]

NOW, THEREFORE, it is mutually agreed as follows:

1. That Owner, after finding by the Board of Supervisors that the deferred improvements should be constructed and installed upon demand of the Director of Public Works, shall construct and install or cause to be constructed and installed, at Owner's own cost and expense, the deferred improvements described herein in accordance with applicable County of Stanislaus improvement standards on the publicly maintained street(s) to be widened and improved by County adjoining the property described on the attachment hereto. Such improvements shall consist of concrete sidewalks approved by the County of Stanislaus and shall only be demanded upon completion by County, in County's sole and full discretion, of the County's Geer Road at Santa Fe Avenue improvement project.
2. That the cost of the required deferred improvements is estimated at this time to be \$88,000.00, said total amount to become a lien upon the Undersigned's lot or parcel upon the recording of this Agreement in the Office of the County Recorder.
3. That if the Owner refuses or neglects to install the required improvements within thirty (30) days after notification by the Director of Public Works, said improvements shall be installed pursuant to Chapter 27, Part 3, Division 7 (Section 5870 et seq.) of the Streets and Highways Code.

4. That upon the satisfactory completion of the deferred improvements, the County shall record a release exonerating the Agreement.
5. That each and every one of the provisions of this Agreement, herein contained, shall bind and inure to the benefit of the successors in interest of the parties hereto in the same manner as if they had herein been expressly named.
6. That the provisions of this Agreement shall inure to an incorporated city, should the lot or parcel described herein be annexed or included within a city newly formed.
7. That the property herein referred to is owned by Owner and is the property described in the attachment hereto. County and Owner agree that the Irrevocable Offer of Dedication – Road and Public Utility Easement dated 5/9/2011, the construction/installation of the improvements shown on the improvement plans approved by the County on May 10, 2011, and the construction/installation of the deferred improvements under this Agreement constitute satisfaction of conditions 25, 26, 27, 28, and 30 in the development standards for rezone 2007-1, approved January 8, 2008.

IN WITNESS WHEREOF, the County and Owner have executed this Agreement
the day and year first above written.

x Margaret E. Potter By:
Margaret E. Potter
Secretary

COUNTY OF STANISLAUS

Matt Machado

**Matt Machado, Director
Department of Public Works**

5/19/11
Date

ATTACHMENT

Parcel "B " as per Parcel Map thereof recorded on May 8, 1974 in Book 19 of Parcel Maps, Page 13, Stanislaus County Records, subject to any easement of right-of-way

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

State of California

County of Stanislaus

On May 9, 2011 before me, La Mona Davis
Date Here Insert Name and Title of the Officer

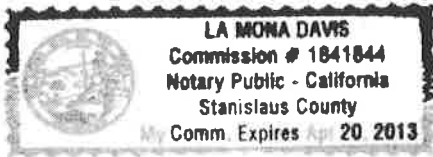
personally appeared Margaret E. Potter
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature La Mona Davis
Signature of Notary Public



#1841844

Place Notary Seal Above

OPTIONAL

Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.

Description of Attached Document

Title or Type of Document: County of Stanislaus - Street Improvement Agreement

Document Date: May 9, 2011 Number of Pages: 5

Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: Margaret E. Potter

☐ Individual

☒ Corporate Officer — Title(s): Secretary

☐ Partner — ☐ Limited ☐ General

☐ Attorney in Fact

☐ Trustee

☐ Guardian or Conservator

☐ Other: _____

Signer Is Representing: _____

Ruddy Enterprises Inc

RIGHT THUMBPRINT
OF SIGNER
Top of thumb here

Signer's Name: _____

☐ Individual

☐ Corporate Officer — Title(s): _____

☐ Partner — ☐ Limited ☐ General

☐ Attorney in Fact

☐ Trustee

☐ Guardian or Conservator

☐ Other: _____

Signer Is Representing: _____

RIGHT THUMBPRINT
OF SIGNER
Top of thumb here



NO FEE
RECORDING REQUESTED BY:
BOARD OF SUPERVISORS

Stanislaus, County Recorder
Lee Lundrigan Co Recorder Office
DOC- 2011-0043757-00

Acct 402-Counter Customers

Monday, MAY 23, 2011 13:35:20

Ttl Pd \$0.00

Nbr-0003059733

OCE/R2/1-5

RETURN TO:
STANISLAUS COUNTY
DEPARTMENT OF PUBLIC WORKS
1716 MORGAN ROAD
MODESTO, CA 95358

IRREVOCABLE OFFER OF DEDICATION - ROAD AND PUBLIC UTILITY EASEMENT

Road Name: Geer Road and Santa Fe Avenue

A.P.N. 045-007-031

The undersigned, being the present title owner of record of the herein described parcel of land, do hereby make an irrevocable offer of dedication to the COUNTY OF STANISLAUS, a political subdivision of the State of California, and its successors or assigns, for road and public utility easement purposes, the real property situated in the COUNTY OF STANISLAUS, State of California, described in Exhibit "A" (written description) and shown on Exhibit "B" (plat map) attached hereto.

It is understood and agreed that COUNTY OF STANISLAUS and its successors or assigns shall incur no liability with respect to such offer of dedication, and shall not assume any responsibility for the offered parcel of land or any improvements thereon or therein, until such offer has been accepted by appropriate action of the Board of Supervisors.

The provisions hereof shall inure to the benefit of and be binding upon heirs, successors, assigns, and personal representatives of the respective parties hereto.

IN WITNESS WHEREOF, these present have executed this instrument this 9th day of May, 2011.

UNDERSIGNED:

RUDDY ENTERPRISES, INC., a California Corporation

SEE EXHIBITS "A" and "B"

(Sign) *Margaret G. Potter* May 9, 2011

(Print) Margaret G. Potter, Secretary

Dated: _____

(Sign) _____

(Print) _____

Dated: _____

NOTE: Signatures must be notarized.

APPROVED as to description: LSF Dated: 5/19/2011

(Authority of Stanislaus County Code: Title 13, Chapter 13.08)

ATTACHMENT 6

CE

CERTIFICATE OF ACCEPTANCE AND CONSENT TO RECORDATION

This is to certify that the interest in real property conveyed by the deed or grant dated 9-MAY-11

From Ruddy Enterprises, Inc., a California Corporation to County of Stanislaus a political subdivision of the State of California, is hereby **not accepted** at this time, but reserving the right to accept at any future time on behalf of the public by the undersigned officer or agent on behalf of the Board of Supervisors of the County of Stanislaus, pursuant to authority conferred by resolution of the Board of Supervisors of the County of Stanislaus adopted on May 12, 1998 in accordance with the provisions of Government Code Section 27281. The grantee consents to recordation thereof by its duly authorized officer.

Wayne G. Sutton PLS 3863

County Surveyor Stanislaus County, State of California

Signed: Wayne G. Sutton Dated: 23-MAY-11



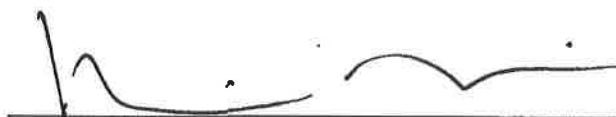
EXHIBIT "A"
LEGAL DESCRIPTION
APN 045-007-031(PORTION)

BEING a portion of Parcel B of that certain map, "Parcel Map for Dave Wilson Nursery, Inc." filed for record in Book 19 of Parcel Maps at Page 13, Stanislaus County Records, lying in the Northeast Quarter of Section 22, Township 4 South, Range 10 East, Mount Diablo Base and Meridian, said dedication being more particularly described as follows:

BEGINNING at the most southerly corner of said Parcel B, said corner also being the point of intersection of the northeasterly right-of-way line of Santa Fe Avenue, with the westerly right-of-way line of Geer Road, as shown on the above said map; Thence North $38^{\circ}39'40''$ West, along the said northeasterly line of Santa Fe Avenue, a distance of 1600.02 feet to the most westerly corner of said Parcel B; thence South $89^{\circ}19'10''$ East, along the northerly line of said Parcel, a distance of 58.19 feet to a point which lies 45.00 feet, measured perpendicularly, from the said northeasterly right-of-way line of Santa Fe Avenue; thence South $38^{\circ}39'40''$ East, parallel with and 45.00 feet distant from last said right-of-way, a distance of 1297.57 feet to the point of tangency with a 50.00 foot radius curve concave to the north; thence easterly along the arc of said curve, through a central angle of $141^{\circ}10'20''$, a distance of 123.20 feet to the point of tangency with a line lying 42.50 feet west of the westerly right-of-way line of the above said Geer Road and the easterly line of Parcel B; thence North $00^{\circ}10'00''$ East, parallel with and 42.50 feet distant from last said westerly right-of-way of Geer Road, a distance of 971.40 feet to a point on the north line of said Parcel B; thence South $89^{\circ}19'10''$ East, along last said north line, a distance of 42.50 feet to the westerly right-of-way line of said Geer Road; thence South $00^{\circ}10'00''$ West, along last said right-of-way, a distance of 1237.48 feet to the most southerly corner of said Parcel B and the **POINT OF BEGINNING**.

SUBJECT TO all easements and rights-of-way of record.

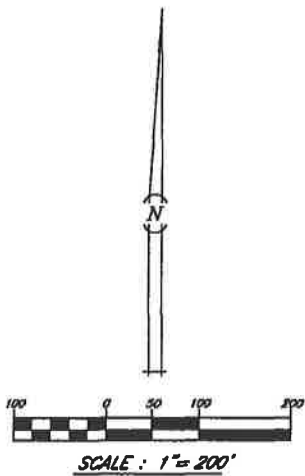
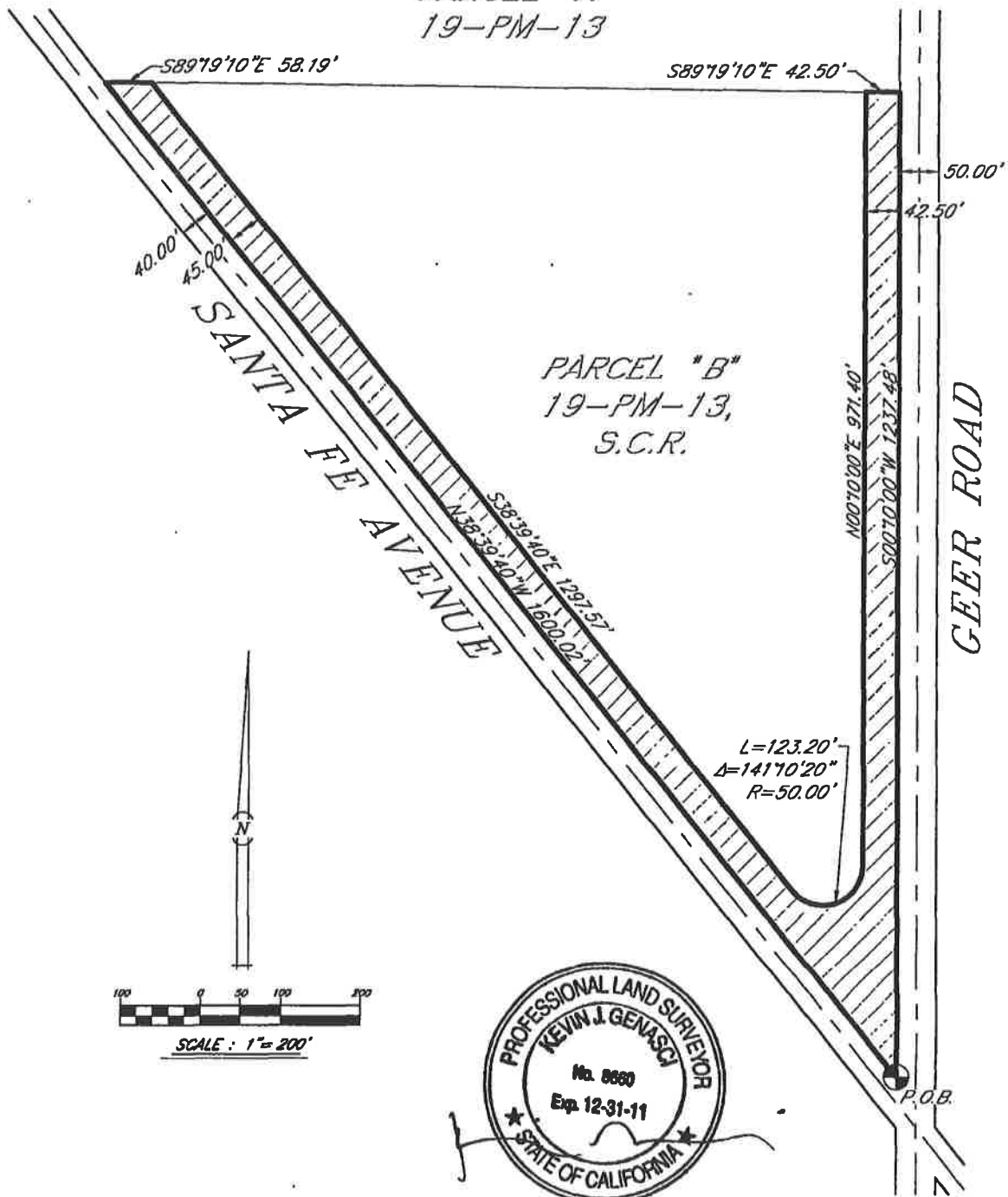
Containing 122,355 square feet (2.81 acres) more or less.


Kevin J. Genasci, P.L.S. 8660
March 3, 2011



PARCEL "A"
19-PM-13

PARCEL "B"
19-PM-13,
S.C.R.



3.3.11

EXHIBIT "B"



**HAWKINS & ASSOCIATES
ENGINEERING, INC.**
436 MITCHELL RD.
MODESTO, CA. 95354
PH: (209) 575 - 4295
FX: (209) 578 - 4295

DEDICATION
APN 045-007-031

SANTA FE CROSSING
STANISLAUS COUNTY, CALIFORNIA

BY: KJG
CHK: KJG
DATE: 3/3/11
SCALE: 1"=200'
JOB #: 2617
FILE: 2617

SHEET
1
OF
1

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

State of California

County of Stanislaus

On May 9, 2011 before me, La Mona Davis
Date Here Insert Name and Title of the Officer

personally appeared Margaret E. Potter
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature La Mona Davis
Signature of Notary Public



La Mona Davis

#1841844

Place Notary Seal Above

OPTIONAL

Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.

Description of Attached Document

Title or Type of Document: Irrevocable Offer of Dedication APN: 045-007-031

Document Date: May 9, 2011 Number of Pages: 5

Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: Margaret E. Potter

- ☐ Individual
☒ Corporate Officer — Title(s): Secretary
☐ Partner — ☐ Limited ☐ General
☐ Attorney in Fact
☐ Trustee
☐ Guardian or Conservator
☐ Other: _____

Signer Is Representing: Ruddy Enterprises Inc

RIGHT THUMBPRINT
OF SIGNER
Top of thumb here

Signer's Name: _____

- ☐ Individual
☐ Corporate Officer — Title(s): _____
☐ Partner — ☐ Limited ☐ General
☐ Attorney in Fact
☐ Trustee
☐ Guardian or Conservator
☐ Other: _____

Signer Is Representing: _____

RIGHT THUMBPRINT
OF SIGNER
Top of thumb here